

# Sciortino Ranch

Brentwood, California

## DESIGN GUIDELINES

March, 2015

City Council Approval 1/12/16



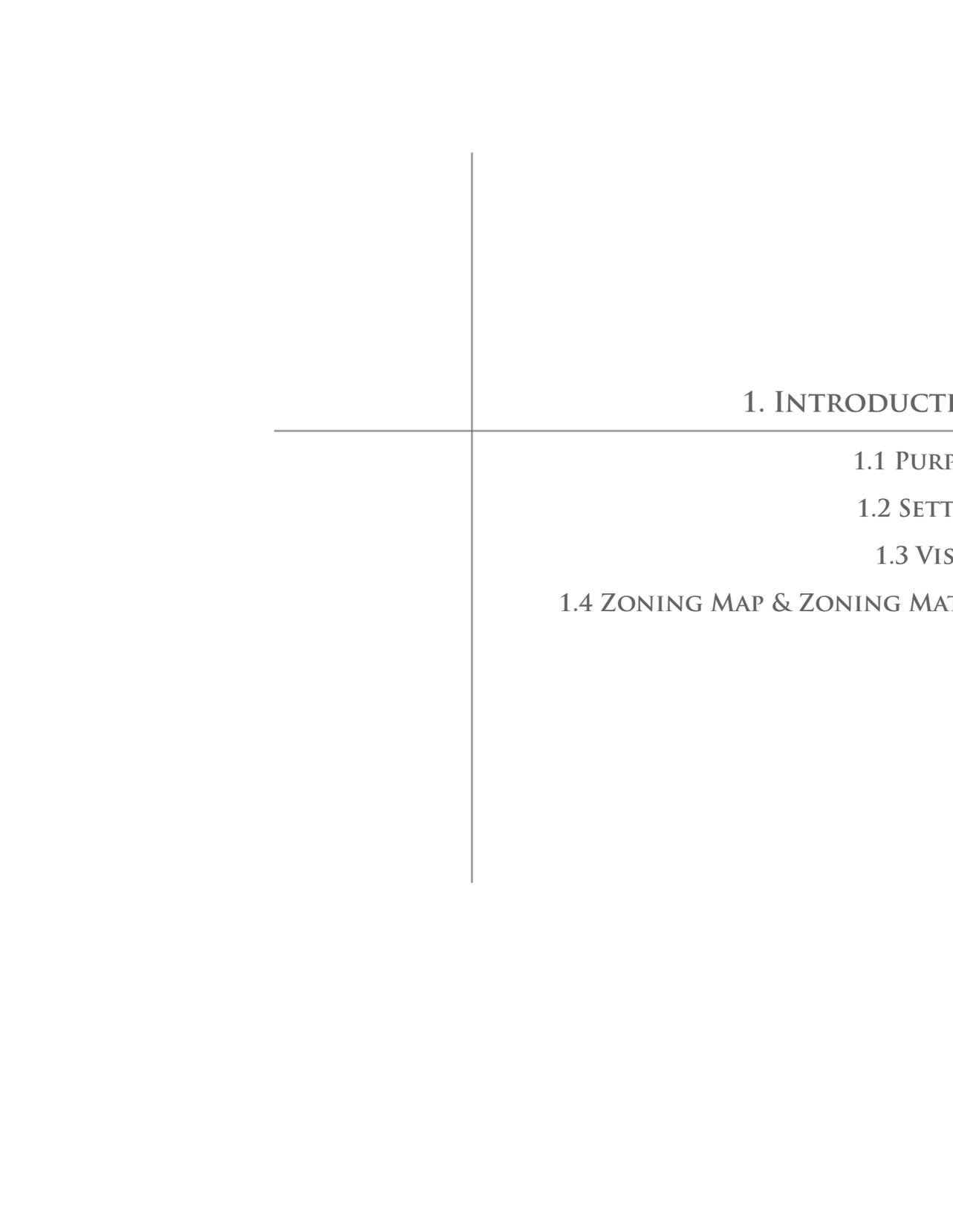


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# 1. INTRODUCTION

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1.1 PURPOSE

1.2 SETTING

1.3 VISION

1.4 ZONING MAP & ZONING MATRIX

CONTEXT MAP



## **1.1 PURPOSE**

The purpose of this document is to establish guidelines for the future development of the Sciortino Ranch property which will ensure a stylistically consistent and cohesive mix of land uses, while maintaining marketplace flexibility. While the Sciortino Ranch guidelines are specific to this site and are intended to create a distinct “place,” the planning and design concepts herein can be a model for other areas of the City. The Residential Design Guidelines (September 2006) and Commercial Design Guidelines (March 2001) published by the City were reviewed prior to the creation of these Sciortino Ranch Design Guidelines to ensure the incorporation of good planning and design practices. The Sciortino Ranch Design Guidelines provide a more detailed and site specific set of guidelines that supersede these prior documents. The guidelines also ensure that Sciortino Ranch is integrated within the existing fabric of Brentwood and provides a transition to surrounding uses.

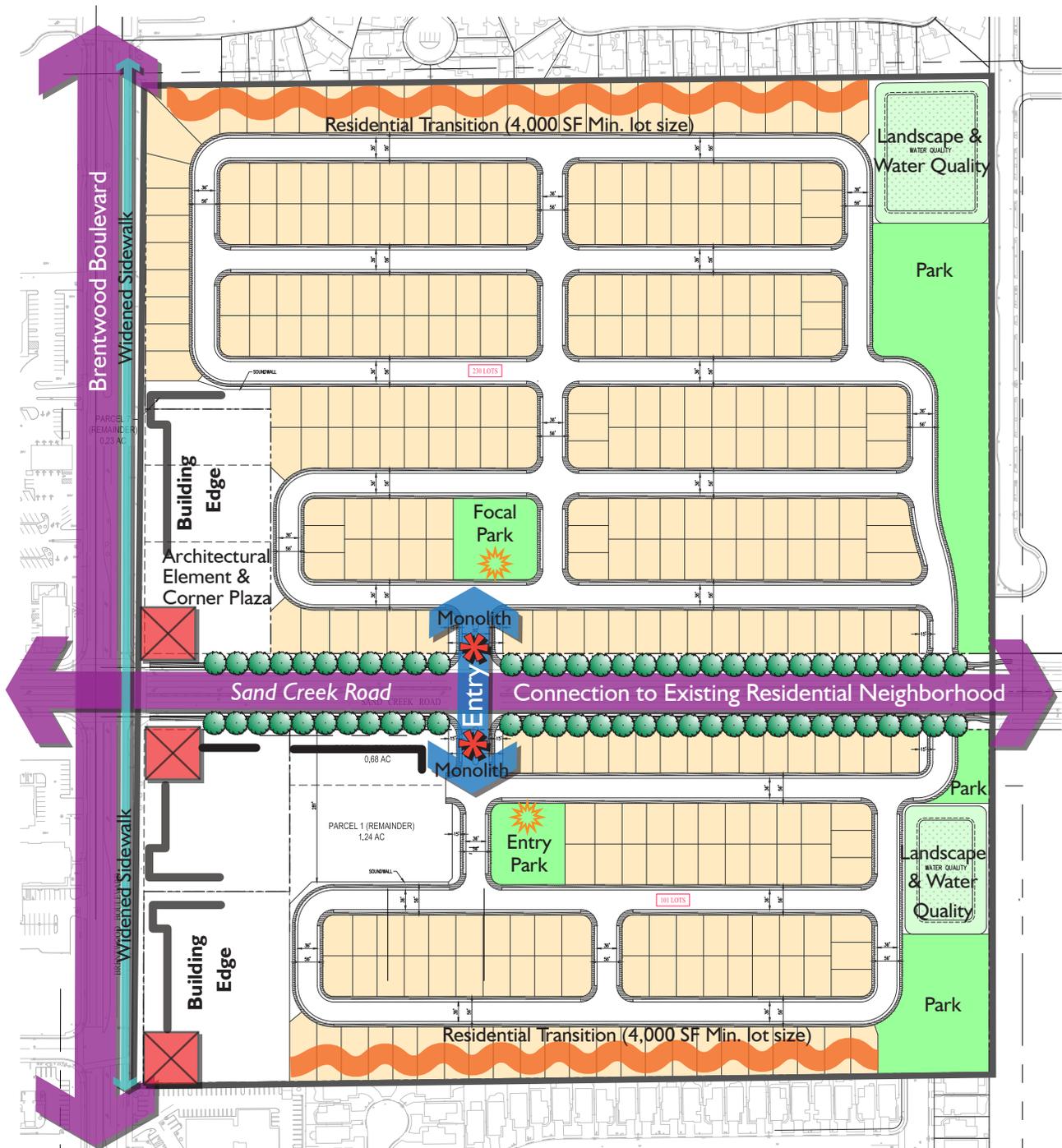
It is anticipated that this property will be developed incrementally over time by multiple developers. These guidelines set criteria enabling the City to evaluate various proposals with the goal of land use compatibility and a high quality design of site plans, architecture, and landscape.

The General Plan identifies the Sciortino Ranch site as PD - Planned Development. The site is currently zoned PD-55 (Planned Development Fifty-Five) for mixed use. These guidelines are an integral part of the PD-55 Planned Development Zone regulations included in Appendix A.

## **1.2 SETTING**

Sciortino Ranch is located a mile north of historic downtown Brentwood. The approximately 65-acre site is located east of Brentwood Boulevard. Brentwood Boulevard connects Antioch, Oakley, Brentwood, Byron, and Discovery Bay. The extension of Sand Creek Road bisects the site and connects to the Barrington development east of the site. The property is surrounded by single family home uses except for the Brentwood Boulevard commercial frontage.

# CONCEPTUAL DESIGN ELEMENTS



Notes: Diagram is a conceptual illustration of potential urban design elements for Sciortino Ranch.

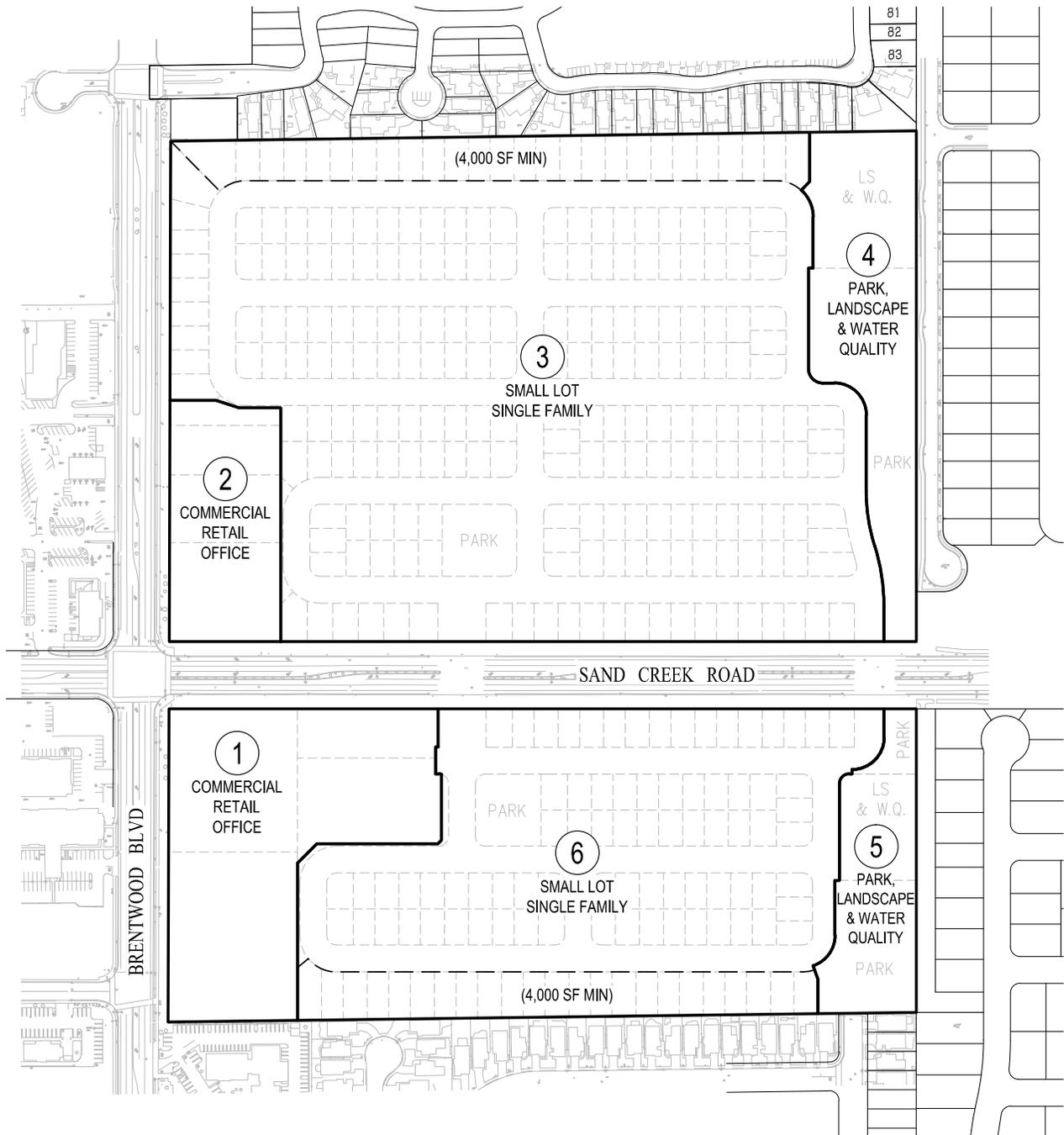
### 1.3 VISION

Sciortino Ranch's proximity to downtown Brentwood presents an opportunity to create a gateway development which reflects a downtown urban tone. These design guidelines establish a vibrant street edge along Brentwood Boulevard. Hard architectural edges integrated with outdoor dining, plazas, street trees and furnishings will generate pedestrian activity which will extend into the site through visual and functional connections to residential uses, and to an interior commercial use.

A development pattern that encourages sustainable pockets of interconnected land use activities is promoted within future development plans. A human scale synergy of housing, commercial development, and open space will be juxtaposed with compatible transitions between compatible uses, including buffers between potential use conflicts, where needed, while retaining an emphasis on connectivity. A range of commercial uses are planned including small shops, midsize retailers, office, and flex type uses. Residential uses will be comprised of single family homes.

Sciortino Ranch will feature a new urbanist park system that encourages design elements such as focal gathering places, village greens, and recreational amenities. The parks are planned to be daily amenities rather than weekend-only features.

# ZONING MAP BY SUB AREA



LOT SUMMARY	
AREA 1:	5.93 AC
AREA 2:	2.63 AC
AREA 3:	31.13 AC
AREA 4:	3.81 AC
AREA 5:	2.23 AC
AREA 6:	14.79 AC
TOTAL:	60.52 AC

• — 230 LOTS

• — 101 LOTS

### Notes:

1. Minor deviations in sub-zone boundaries are allowable to accommodate future development submittals subject to review and approval by the Community Development Department.
2. See Zoning Matrix for full description of PD-55 zoning and land uses for each subzone.

### **1.4.1 ZONING MAP**

The Land Use Concept for Sciortino Ranch utilizes primarily Commercial, Retail and Office uses along Brentwood Boulevard to promote a strong retail edge to the corridor (Sub-areas 1 & 2). The majority of the development (Sub-areas 3 & 6) will be comprised of small lot single-family residences with a minimum lot size of 3,375 square feet. Along the northern and southern project boundaries (within Sub-areas 3 & 6), single-family homes with a minimum lot size of 4,000 square feet provide a transition to the existing adjacent neighborhoods. Park and water quality areas (Sub-areas 4 & 5) are located at the eastern boundary to provide amenities and transition buffers to the planned homes along this edge.

### **1.4.2 ZONING MATRIX**

The following zoning matrix provides more comprehensive details concerning uses that are permitted, or conditionally permitted, in each of the sub-areas. The matrix also highlights some uses that will require special design responses, included in these guidelines, to be permitted in a noted sub-area. These special requirements as well as the character for the permitted uses are described in these guidelines.

# ZONING MATRIX

## 17.505.008 Zoning Matrix of Land Uses by Sub Areas for PD-55

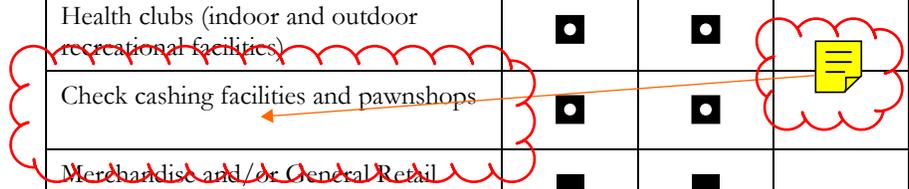
### Symbol Legend

- = Permitted Use<sup>1</sup>
- ◻ = Conditional Use Permit Required<sup>2</sup>

LAND USES <sup>3</sup>	Commercial		Residential		Park and Water Quality	
	Sub-area 1	Sub-area 2	Sub-area 3	Sub-area 6	Sub-area 4	Sub-area 5
<b>Commercial Uses</b>						
Self-service storage facilities <sup>4</sup>	■	■				
Light industrial uses which generate minimal noise, odor, smoke, and waste material <sup>5</sup>	■	■				
Sports bar, lounge, nightclub and similar establishments <sup>6</sup>	■	■				
Liquor Stores <sup>7</sup>	■	■				
Motor Vehicle Sales <sup>8</sup>	■	■				
Construction contractor's and contractor related services and affiliated storage <sup>9</sup>	■	■				
Video Arcades, indoor Movie Theatre, Bowling Alley, Skating Rink, and similar entertainment establishments	■	■				
Hotel	■	■				
Tobacco and cigar lounges that allow smoking on-site	■	■				

- 1 All proposed developments are to be consistent with the adopted Sciortino Ranch Design Guidelines, as applicable, for each permitted land use. Land uses that are similar in nature and operation to those uses identified within the land use matrix are acceptable subject to approval by the Community Development Director. The decision of the Community Development Director is subject to appeal in accordance with Brentwood Municipal Code (BMC) Chapter 17.880.
- 2 Symbol notes uses that are required to undergo a conditional use permit process (per BMC Chapter 17.830).
- 3 Physical design is to adhere to the PD-55 Municipal Ordinance and the adopted Sciortino Ranch Design Guidelines, sub-areas are specifically designed to respond to any existing adjacent development by incorporating like densities, uses, or park buffers.
- 4 Mini-storage or warehouse with or without a resident manager's dwelling unit.
- 5 Including by way of example, but not limited to, Warehouses, Controlled Manufacturing and Assembly, Printing or Lithography Production establishments, Plastic Fabrication, Electronic and Electrical Product and Instrument Manufacturing, Garment Manufacturing, Furniture Making, Upholstering, Food Processing and similar uses.
- 6 With on-site sale of beer, wine, or distilled spirits, including establishments which offer food as a secondary use, entertainment and/or dancing.
- 7 Liquor Stores including by way of example, but not limited to, establishments that sell primarily beer, wine, or distilled spirits.
- 8 Including Automobile, Motorcycle, Recreational Vehicle and Boat Sales, Agricultural Vehicle, Equipment and Farm Implements Sales, and similar establishments.
- 9 Including but not limited to cabinetry, countertop, and sheet metal fabrication shops

LAND USES <sup>3</sup>	Commercial		Residential		Park and Water Quality	
	Sub-area 1	Sub-area 2	Sub-area 3	Sub-area 6	Sub-area 4	Sub-area 5
Health clubs (indoor and outdoor recreational facilities)	■	■	■			
Check cashing facilities and pawnshops	■	■	■			
Merchandise and/or General Retail Sales Less than 75,000 Sq. Ft. (Applies to any Single-User or Multi-Tenant Building)	■	■				
Supermarkets or Grocery (with Beer, Wine, and Distilled Spirits sales)	■	■				
Convenience Store with or without Beer & Wine sales (no Distilled Spirits). Limited to one store as a permitted use in each of the following sub areas: 1, 2 and 4. Any additional convenience store must apply for a conditional use permit. <sup>10, 11</sup>	■	■				
Pharmacy Establishments with or without Drive-through. Limited to one such use in each of the following sub areas: 1, 2 and 4. Any additional drive-through must apply for a conditional use permit.	■	■				
Gas Stations, with or without Car Wash and/or Convenience Store. Limited to one such use in one of the following sub areas: 1, 2 or 4. Any additional gas station must apply for a conditional use permit.	■	■				
Pet and Pet Supply Stores <sup>12</sup>	■	■				
Restaurants <sup>13</sup> (with or without Beer & Wine sales) <sup>14</sup>	■	■				



- 10 Convenience Store alcoholic beverage sales shall not exceed 40% of total beverages offered and no individual containers of beer may be sold greater than 24 ounces.
- 11 Sale of newspapers, periodicals, magazines, or other print, analog, or digitally reproduced materials that includes pornographic images is expressly prohibited.
- 12 Including on-site Veterinary Clinics, excluding boarding of pets.
- 13 Including by way of example but not limited to full-service sit-down restaurant establishments.
- 14 Prior to the issuance of a tenant improvement permit, a copy of the floor plan shall be provided for the review and approval of the Brentwood Police Department specifically identifying where all alcoholic beverages will be stored or displayed and how distribution will be controlled. A sign stating that open alcohol containers shall not be removed from designated areas shall be conspicuously displayed within the restaurant to the satisfaction of the Brentwood Police Department. Tables shall be bussed immediately following vacancy in order to ensure that all open alcoholic containers are removed from the seating area.

## ZONING MATRIX

LAND USES <sup>3</sup>	Commercial		Residential		Park and Water Quality	
	Sub-area 1	Sub-area 2	Sub-area 3	Sub-area 6	Sub-area 4	Sub-area 5
Restaurants with full kitchen and bar as secondary use <sup>15</sup> (limited to one restaurant as a permitted use in each of the following sub areas: 1, 2 and 4. Any additional restaurants with secondary bar use must apply for a conditional use permit)	■	■				
Convenience Restaurants with or without drive-thru service <sup>16</sup> Limited to one such use in each of the following sub areas: 1, 2 and 4. Any additional drive-through must apply for a conditional use permit.	■	■				
Specialty Merchandise, Convenience Sales and Commercial Services <sup>17</sup>	■	■				
Temporary parking lot display and/or sale areas <sup>18</sup>	■	■				
Outdoor display, dining, and/or sale of merchandise <sup>19</sup>	■	■				
Commercial uses which may or may not manufacture their primary product on the premises <sup>20</sup>	■	■				
Business, Institutional, Administrative, Financial, and Professional Offices <sup>21</sup>	■	■				
Research and development facilities <sup>22</sup>	■	■				

15 The following regulations apply to any restaurant: Prior to the issuance of a tenant improvement permit, a copy of the floor plan shall be provided for the review and approval of the Brentwood Police Department specifically identifying where all alcoholic beverages will be stored or displayed and how distribution will be controlled. A sign stating that open alcohol containers shall not be removed from the premises shall be conspicuously displayed within the restaurant to the satisfaction of the Brentwood Police Department. Tables shall be bussed immediately following vacancy in order to ensure that all open alcoholic containers are removed from the seating area. Expressly excludes dancing type uses. Secondary bar uses have limited hours of operation 11AM to Midnight. Bar area not to exceed 30% of restaurant floor area (excluding office or kitchen area). Restaurant with Secondary bar use shall not be permitted within 200 feet of a residential use or residential zone.

16 Including by way of example but not limited to Sandwich Shops or Fast-Food establishments.

17 Including by way of example but not limited to Specialty Foods, Delicatessen, Bakery, Pastry, Candy, Ice Cream, Butcher, Meat Market, Wine, Tobacco, Apparel, Jewelry, Cosmetics, Stationery, Shoes & Shoe Repair, Kitchenware, Motor Vehicle Parts, Agricultural Equipment and Farm Implements, Hobby, specialty interest stores, Barbershop, Beauty Shop, Hair Salon, Laundry, Dry Cleaning, Laundromat, Electronic, Appliance Sales and Repair, Watch and Clock Repair, Tanning Studio, Small Equipment Rental and Repair, Real Estate Sales and Rental, Title and Escrow Services, Architectural, Engineering, Legal and Accounting Services, Insurance Agency, Employment Agency, Outpatient Medical, Dental and Optical Services, Technology Access Center, Telecommuting Center, Addressing, Post Box and Mailing Service, Blueprinting, Photostating and Desktop Publishing & Printing Services, Drafting Service, Messenger Service, Stenographic Service, Answering Service, Private Postal Box Service, Travel Agency, Bank Branch, ATM facility, and similar establishments.

18 Requires approval of a Temporary Use Permit per BMC Chapter 17.850.

19 If outdoor display, dining, and/or sales areas are proposed post formal design review and/or development of a subject building then either: 1) BMC Section 17.900.009 shall apply for uses proposed on private property, or 2) BMC Section 17.900.005 shall apply for uses proposed in the public right of way (excluding any Downtown zone specific regulations).

20 Including but not limited to Drapery or Upholstery Shop and similar establishments.

21 Including but not limited to large-scale single and/or multi-tenant office uses, such as medical offices, Trade Schools, Colleges, Public and Quasi-Public Offices, Library, Post Office and Utility Office.

22 Including by way of example but not limited to research, office, support and associated warehouse areas.

LAND USES <sup>3</sup>	Commercial		Residential		Park and Water Quality	
	Sub-area 1	Sub-area 2	Sub-area 3	Sub-area 6	Sub-area 4	Sub-area 5
Wholesale showrooms and distribution centers	■	■				
<b>Residential Uses<sup>23</sup></b>						
Small Lot Single Family Homes (Min. Lot Size: 3,375 Sq.Ft. <sup>24</sup> )			■	■		
<b>Park Uses</b>						
Parks <sup>25</sup>			■	■	■	■

23 Keeping of domestic animals or pets subject to BMC Chapter 17.670; Secondary housing units are allowed in residential areas pursuant to BMC Section 17.100.005.

24 Single-family lots along the northern and southern project boundaries shall be a minimum of 4,000 sq. ft.

25 Parkland areas are subject to park size minimums described within the adopted Sciortino Ranch Design Guidelines. Park credits are also described in the Design Guidelines. Parks are allowed in all Sub Areas per the Guidelines with specified Park areas located in Sub Areas 3, 4, 5 and 6. Park sub area borders are flexible to accommodate future development designs that better integrate park land use edges.

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## 2. COMMERCIAL DEVELOPMENT

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2.1 DESIGN OBJECTIVES & PURPOSE

2.2 SITE PLANNING

2.3 COMMERCIAL DEVELOPMENT STANDARDS

2.4 BUILDING DESIGN GUIDELINES

2.5 ARCHITECTURAL STYLES

2.6 PROTOTYPES

### 2.1.1 DESIGN OBJECTIVES

A mix of commercial uses will form an architectural edge along Brentwood Boulevard. Building architecture will vary in form and character to provide a varied street front. Pedestrian scale elements such as storefront windows, building awnings, plazas, wide sidewalks, street trees, and furnishings will soften the building edge and create urban activity.

A strong edge unbroken by parking lots and blank walls is an important design element to be provided in balance with the equally important visual and functional connections from roadways to the site. Breaks in building architecture will open up views into the site so that interior retail and office uses maintain a street presence. In addition, these openings will act as pedestrian paseos connecting from the street into the site. Sand Creek Road, the project's main entry, will be lined with a mix of commercial uses partway into the site. This portion of the road will enjoy a wide sidewalk, and furnishing elements similar to those allowed along Brentwood Boulevard.

Interior commercial uses (along Sand Creek Road) may consist of retail, office/flex, or other commercial uses. Strong pedestrian connections from parking to uses and between uses will be key to an integrated series of land uses. A series of plazas and paseos will link such uses and provide gathering and social opportunities. Urban plazas will be co-located with buildings providing outdoor dining and gathering.

### 2.1.2 PURPOSE

- Provide visual continuity along street frontage
- Maintain a building scale which is consistent with the City's small town rural heritage and historic qualities of Brentwood
- Encourage corporate and franchise design to adapt to the unique character of the site
- Encourage commercial development to be constructed in patterns that are more pedestrian friendly
- Convey the City's design expectations to the property owners and developers
- Protect property owners' investments by discouraging inconsistent developments
- Streamline the development review process by more clearly communicating community expectations to property owners and developers

## 2.2 SITE PLANNING

The following are design objectives to which the city will compare future development applications for their adherence to quality design. The spirit of design implementation to a given site plan is the primary goal of these objectives, not the strict execution of each and every design objective.

### A. Orient buildings and entry to street frontage

- 1.) Provide building entries which are easily identified from fronting streets and parking areas.
- 2.) Make a special effort to create an interesting street edge with storefront windows, varied buildings planes and people activity around building entries.
- 3.) Minimize the amount of parking seen from the adjoining streets and other developments
- 4.) Locate employee parking away from street frontages whenever possible

### B. Reduce dominant parking fields between buildings and arterial streets

- 1.) Where feasible place parking fields behind and adjacent to buildings that are located adjacent to arterial streets
- 2.) Parking fields in front of the building should be limited to one drive aisle and one or two rows of parking whenever possible

### C. Provide areas for landscaping between the street edges and buildings

- 1.) Provide an attractive street edge that provides visual continuity along street frontages
- 2.) Screen parking and service/loading areas using landscape design
- 3.) Provide street trees approximately thirty feet on center along front setback areas, along lawns, ground covers and/or hardscape areas. (Spacing flexibility is necessary to accommodate driveways, utility boxes, etc.)
- 4.) Use landscape design elements to screen less articulated portions of building or areas of development where visible to public streets
- 5.) Provide tree wells (diamond shaped preferred) in parking lot areas where feasible, and not in conflict with bio-retention areas.
- 6.) Minimum tree sizes shall be 24" box.

## SITE PLANNING

- D. Whenever possible, incorporate existing trees into new landscape areas to promote a sense of heritage to a space as well as shade.
- E. Provide clear pedestrian pathways
  - 1.) Provide pleasing pathways between buildings
  - 2.) Establish convenient connections between building entries and to adjacent parcels where feasible.
  - 3.) Provide a comprehensive design that integrates into and compliments the development.
  - 4.) Provide rest areas preferably with shading devices or landscape shading along pathways.
  - 5.) Provide adequate path lighting via either bollards, pole lighting, or wall mounted lights.
  - 6.) Minimize blind corners or pockets that may be conducive to criminal activity.
- F. Minimize the visual prominence of service and loading areas
  - 1.) Provide visual and sound buffers between commercial developments and adjacent to residential development.
  - 2.) Integrate landscaping and/or architectural elements to provide screening.
  - 3.) Design trash enclosures to be complimentary and compatible with adjacent buildings.
  - 4.) Landscape, lattice and trellis elements on and around trash enclosures are encouraged
- G. Provide buffers between new development and residential neighborhoods
  - 1.) Minimize impacts on adjacent parcels
  - 2.) Provide screening landscaping and attractive screen walls
  - 3.) Plant sufficient landscape screening to block views of commercial buildings and architecturally treat elevations visible to public streets.
- H. Provide landscape planting areas between buildings and adjacent parking areas
  - 1.) Landscaped trellis walls are encouraged
  - 2.) Break up large areas of paving with landscaping between pedestrian ways and adjacent building walls.
- I. Provide visual buffer for prominent utility and mechanical elements
  - 1.) Provide architectural and/or landscape elements to screen prominent elements
  - 2.) Provide architecturally pleasing walls to buffer any noise generating mechanical appurtenances

J. Consolidate vehicular entries

- 1.) Align entryways with opposite side of street
- 2.) Utilize shared entryways with adjacent parcels whenever possible.

K. Connect adjacent parcel parking lots where feasible

- 1.) Utilize shared parking whenever possible
- 2.) Where appropriate provide clear vehicular circulation paths between parcels

L. Avoid parking lots on street intersection corners

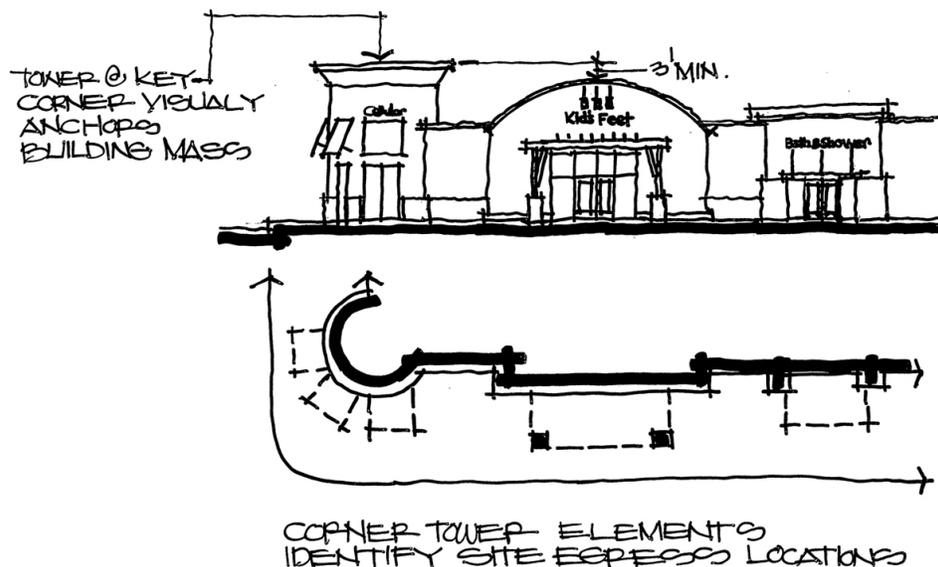
- 1.) Provide accent landscaping and low walls at intersections when buildings can not be placed at these locations

M. Provide for and screen stacking of service vehicles on site.

- 1.) Space for loading trucks to wait for dock space should be accommodated on the site
- 2.) No vehicle stacking will be allowed on adjacent streets

N. Provide a comprehensive site and building exterior lighting plan

- 1.) Provide a unified master lighting plan for the entire site
- 2.) Use cut-off or full cut-off light fixtures
- 3.) Use pedestrian scale lighting and poles near buildings and adjacent hardscapes (25 feet maximum). Taller light poles are acceptable in parking fields (30 feet maximum). Height is measured from finished grade to the light source.
- 4.) Avoid light trespass to adjacent residential parcels with use of hooded lights or screens (cut-off or full cut-off classified fixtures)



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

## SITE PLANNING

- 5.) Downward lighting of vertical building elements is encouraged
  - 6.) For washing lighting, use smallest luminaires available to accomplish task
  - 7.) Use visually attractive fixtures for security lighting
  - 8.) Avoid strictly utilitarian lighting whenever possible
- O. Provide secured parking for bicycles conveniently located near building entries
- 1.) Utilize bike racks near building entries and at convenient locations
  - 2.) Provide adequate lighting at all bike rack locations
- P. Plan drive thru windows to minimize adverse visual impacts to public streets
- 1.) Screen drive thru vehicles and windows using architectural design, architectural elements, decorative screen walls, or landscape design.
  - 2.) Drive thru exits should avoid major entry or exit drives where feasible
  - 3.) Drive thru windows and aisles are not allowed adjacent to residential areas

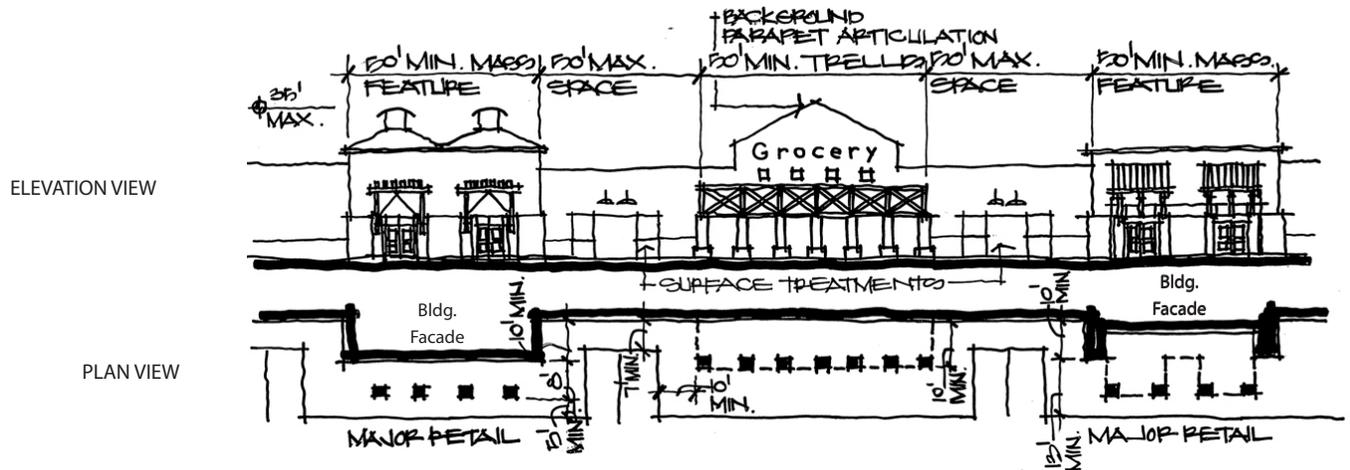
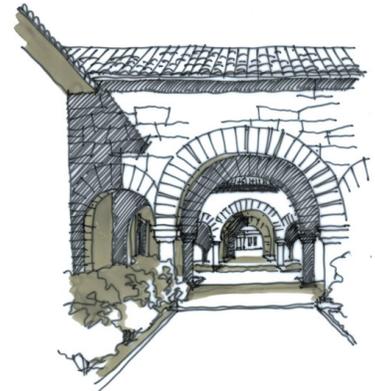
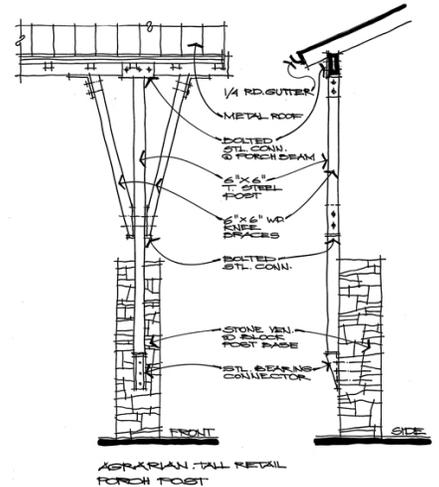
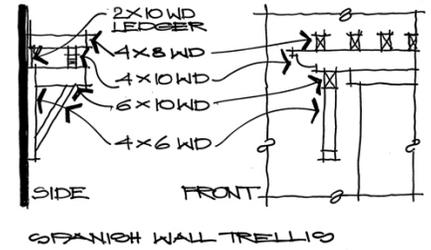
### 2.3 COMMERCIAL DEVELOPMENT STANDARDS

- A. Minimum lot area: ten thousand (10,000) square feet
- B. Minimum street frontage yard: five (5) feet typical; zero (0) feet along major arterial street
- C. Minimum non-street frontage yard: none
- D. Maximum building height
- 1.) Maximum building height shall be three stories not to exceed fifty feet.
  - 2.) The maximum building height of special architectural features shall not exceed 25% of any single building's footprint area and shall not exceed fifty feet. Special architectural features may include, but are not limited to, tower entries or corner design elements.
  - 3.) Structures or special architectural features greater than fifty feet, may be permitted subject to a conditional use permit.
- E. Delivery hours for commercial uses within 100 feet of a residential zone shall be 7:00 am to 10:00 pm daily.

2.4 BUILDING DESIGN GUIDELINES

The following are design objectives in which the city will compare future development applications for starting to adhere to quality design. The spirit of design implementation to a given site plan is the primary goal of these objectives not the strict execution of each and every design objective.

- A. Relate building design to the character and climate of Brentwood
  - 1.) Use of awnings and shade devices is encouraged
  - 2.) Use of architectural styles such as Mediterranean, Agrarian or Contemporary Main Street is encouraged
- B. Prepare a comprehensive and integrated design for all structures
- C. Use awnings and trellis elements along street and parking lot frontages
- D. Shade walkways with elements such as arcades to create pedestrian friendly pathways
- E. Emphasize building entries
- F. Use interesting building forms
- G. Use a variety of heights and wall planes
- H. Avoid visible blank walls
- J. Provide finished facades adjacent to open space corridors
- K. Design walls and fences to be compatible and complimentary with the architecture of the building
- L. Design of marquees and entry signage to be compatible and complimentary in style and scale with the architecture of the buildings
- M. Use appropriate materials and colors
- N. Maintain visual transparency to street facades and tenant signage
- O. Organize and screen roof mounted equipment
- P. Utilize design elements from local historic building examples where possible

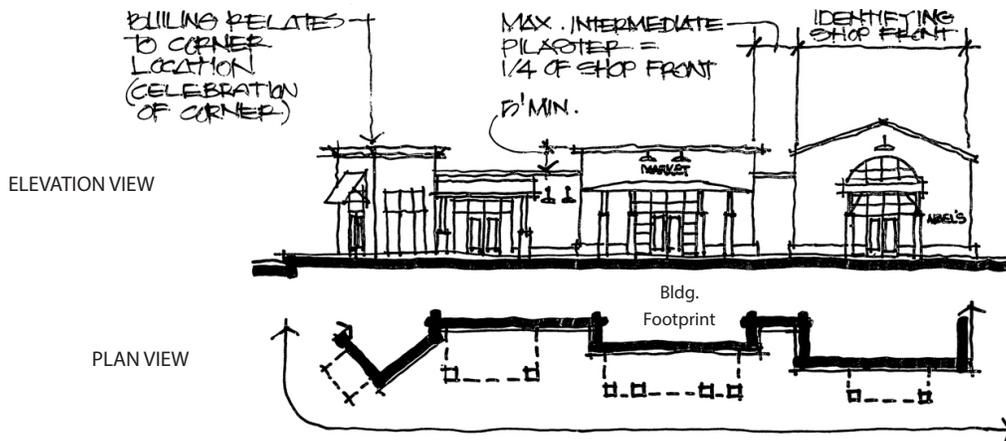
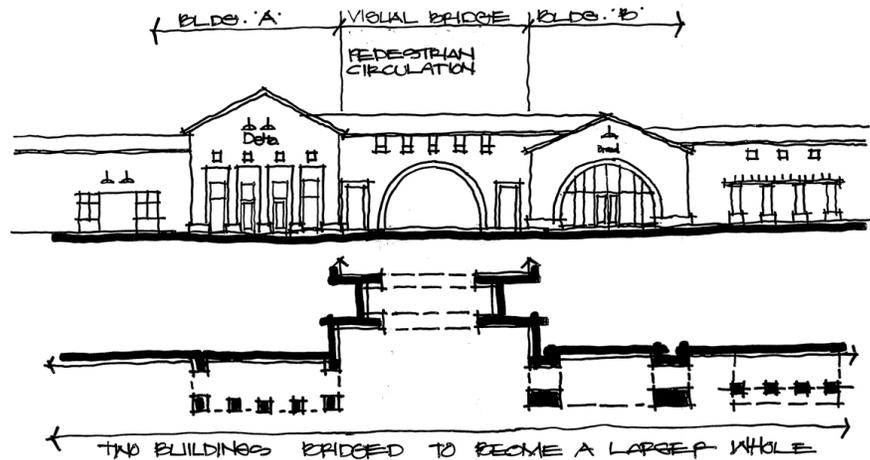
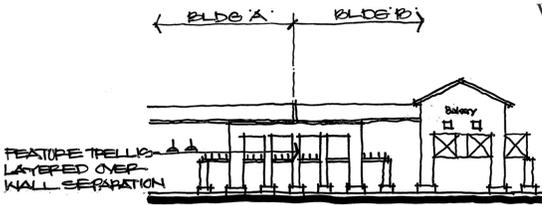
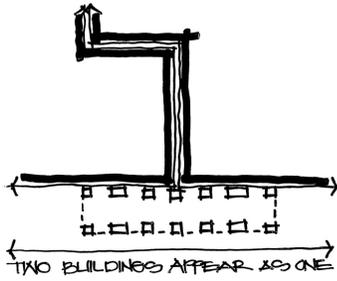


Facade variation and architectural features added to break up building mass

Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

# BUILDING DESIGN GUIDELINES

- Q. Buildings should face the street with active fronts where feasible
- R. Street side entries are preferred
- S. Breezeways between buildings are encouraged
- T. Corner elements should create a sense of entry and arrival
- U. Commercial building along the street should appear as a continuous building to the extent possible. When not possible, compact building groupings to encourage pedestrian activity nodes
- V. Utilize architectural elements such as trellises, breezeways and arches to visually connect smaller buildings to appear as a larger building.
- W. Decorative lighting features are encouraged on store fronts.



Facade variation and architectural features added to break up building mass

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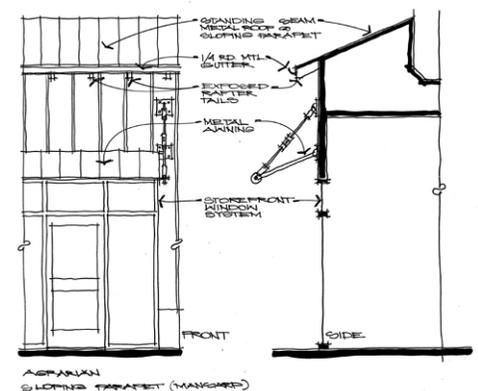
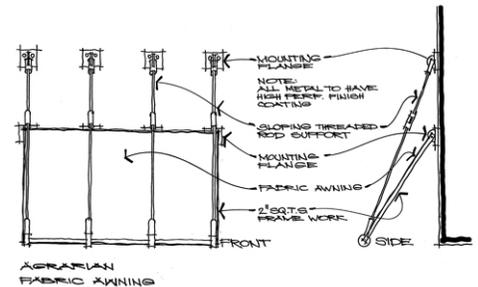
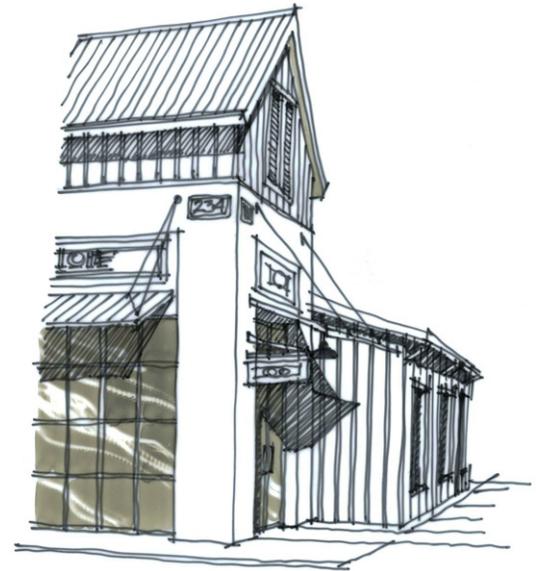
## 2.5 ARCHITECTURAL STYLES

### AGRARIAN

The agrarian architectural style is characterized by a simple and utilitarian design stemming from agricultural traditions beginning during the late 1700s. Agrarian buildings made use of local materials and traditionally are simple in geometry and arranged in clusters.

#### DESIGN CHARACTERISTICS

- Deep covered porches with square posts
- Low pitched roofline with gabled, hipped, shed, or gambrel
- Heavy wood beams and timber trusses
- Exposed timber rafter tails
- Decorative vented cupolas
- Regularly placed and shaped multi-paned windows
- Vertically oriented windows with divided lights
- Decorative wood trim for windows and doors
- Gabled roof
- Wooden siding
- Standing seam metal roof
- Corrugated metal roof and siding elements
- Treated wood shingles
- Architecturally dimensioned composition shingles
- Flat concrete tile



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

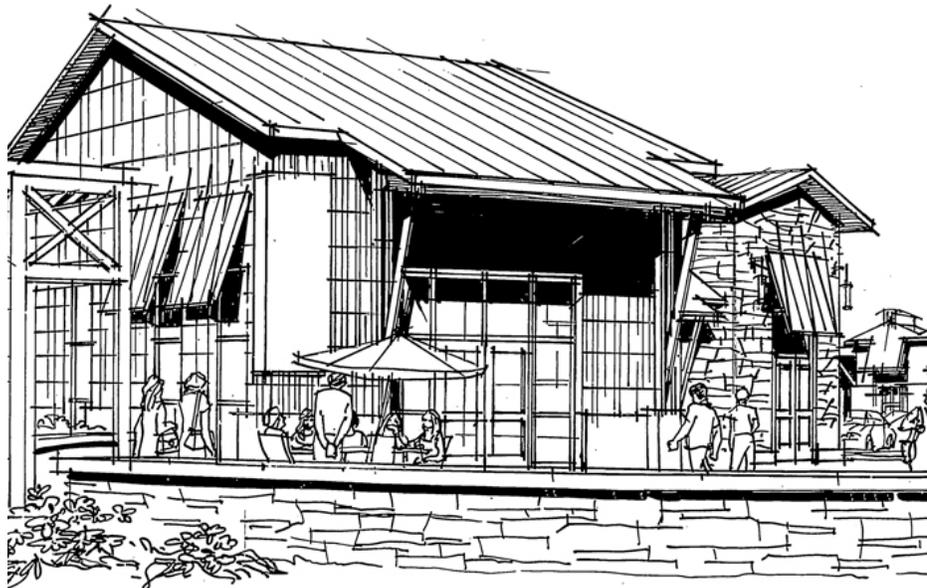
## ARCHITECTURAL STYLES - AGRARIAN



### MATERIALS

Quality alternative materials may be substituted for natural materials to achieve longevity and ease of building maintenance.

- Horizontal lap siding
- Board and batten siding
- Cement fiber siding (6-inch, 8-inch, or 12-inch horizontal siding)
- Wood clapboard
- Metal siding (corrugated or paneled)



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

**CONTEMPORARY**

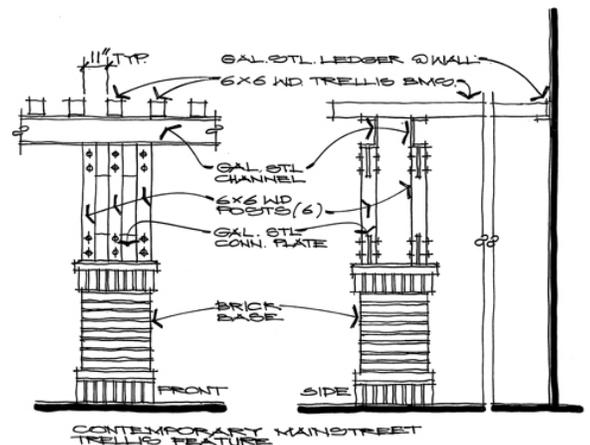
**HISTORICAL PRECEDENT**

The contemporary Main Street style derives from the vernacular designs of many 19th Century American Downtown Districts. The massing of individual closely sited storefronts provided varied roof forms, heights and architectural treatment. The result was a pedestrian friendly environment filled with visual interest. The contemporary interpretation of this style uses the same vocabulary of form, massing and scale to create buildings for retail and commercial use today.



**DESIGN CHARACTERISTICS**

- Varied parapet heights and shapes
- A variety of angled, rounded and sloped metal roof forms
- Tower entry and corner features
- Simple building massing and forms
- Plane breaks to reduce massing and increase visual interest
- Scale appropriate to pedestrians
- Metal roof elements
- Concrete tile roofs
- Parapet roofs
- Pedestrian arcades
- Metal trellises

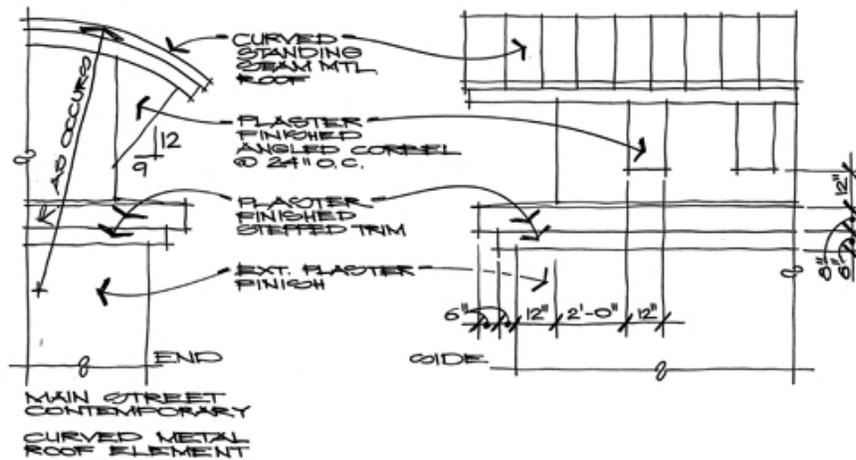
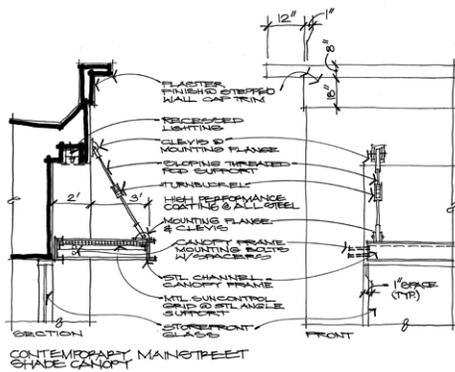


Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

# ARCHITECTURAL STYLES - CONTEMPORARY

## MATERIALS

- Scored stucco and plaster with color variation
- Stone veneer
- Concrete tile
- Decorative metal features – entry, accent and focal
- Metal details – trellis, awnings
- Canvas and metal canopies



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

**MEDITERRANEAN**

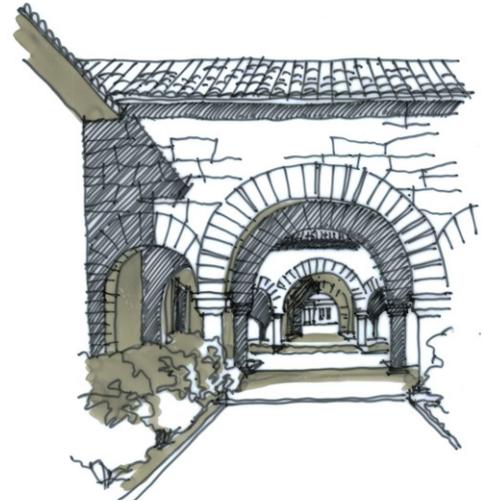
**Monterey, Spanish Eclectic, Tuscan**

**HISTORICAL PRECEDENT**

Derived mainly from the southern regions of Mediterranean Europe, this blend of Tuscan, Spanish Eclectic, Colonial Revival and Monterey styles has its roots in the use of local materials and response to the climates from which they originated. The use of available wood, clay and adobe provided the basic building elements of these styles. Today, these elements are used and re-interpreted to articulate this style for use in the commercial and retail design.

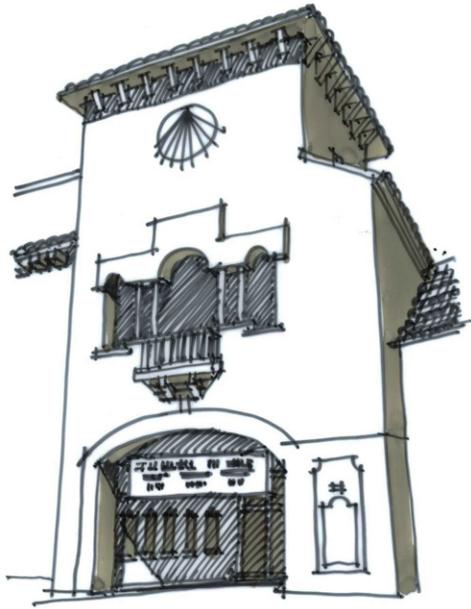
**DESIGN CHARACTERISTICS**

- Entry, accent and focal tower elements
- Rusticated elements at the base of the buildings
- Arched passageways and entry features
- Covered pedestrian walkways
- Wrought iron railing and detail elements
- Wood trellis features
- Decorative cornice and dentil treatment
- Tight rakes at gable ends
- Recessed windows
- Shutter accent elements



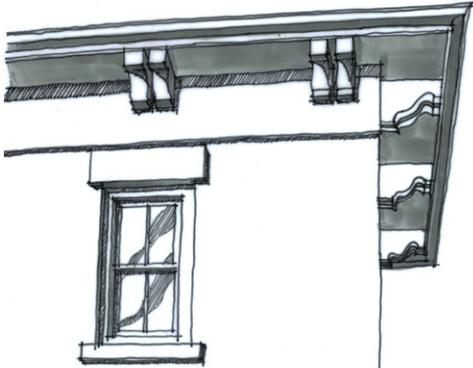
Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

## ARCHITECTURAL STYLES - MEDITERRANEAN



### MATERIALS

- Stucco and plaster – smooth relief or trowel sweep texture
- Villa tile roof tiles
- Exposed rafter tails
- Exposed beams
- Wrought iron connections and detailing
- Tile or deep stained concrete flooring



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

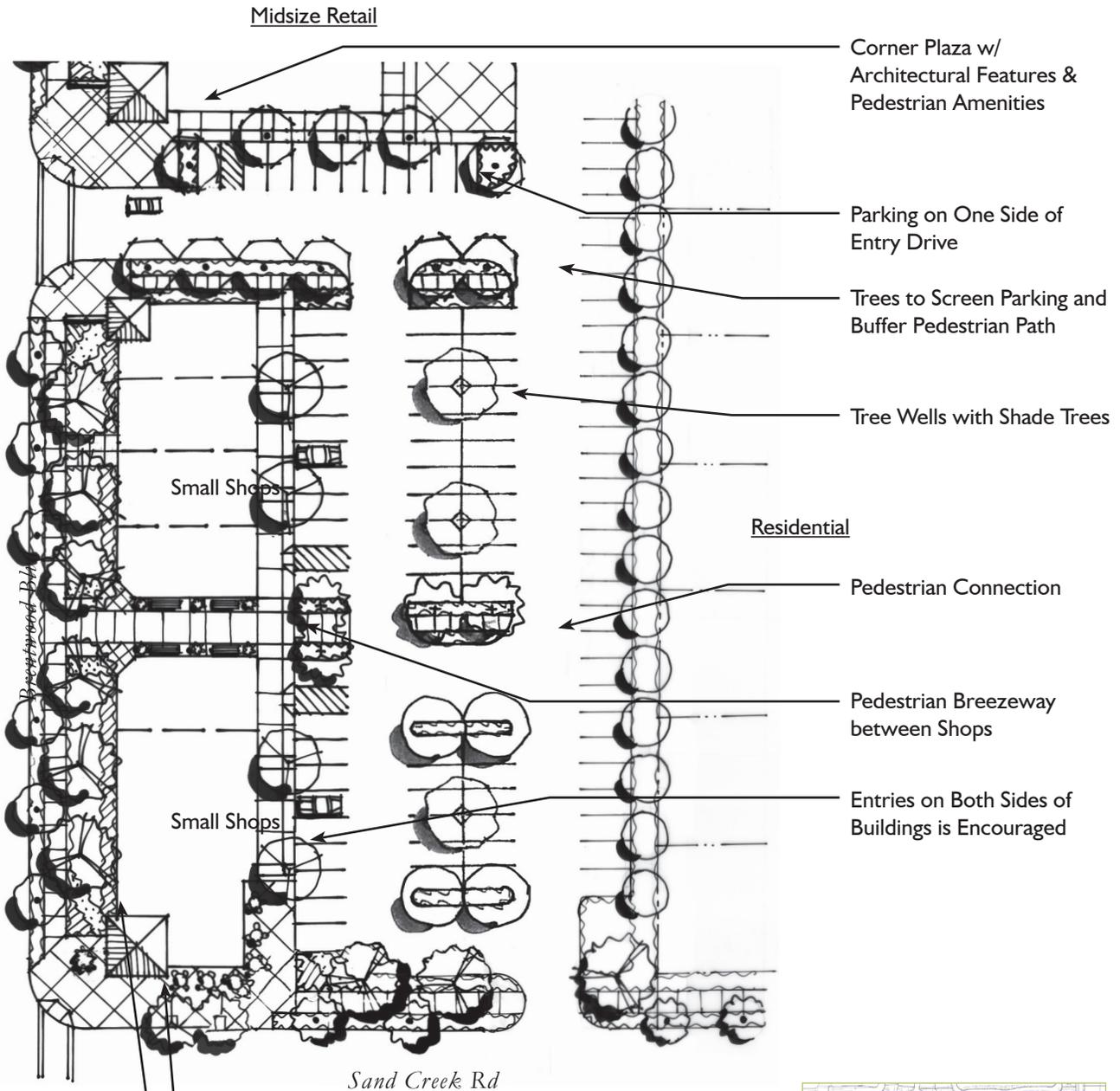
## 2.6 PROTOTYPES

### A.) SMALL SHOPS RETAIL

Small retail shops fronting on Brentwood Boulevard and Sand Creek Road are encouraged. A variety of building forms should exhibit a pedestrian friendly streetscape character by incorporating the following treatments:

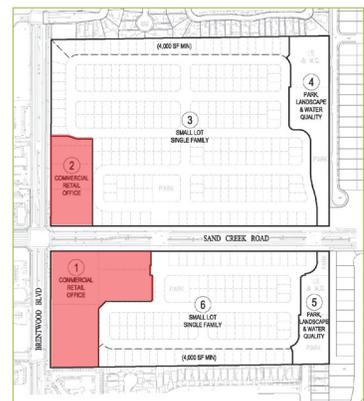
- 1.) Multi-tenant building uses
- 2.) Frontage character with a strong street presence
- 3.) Architectural features at corners
- 4.) Access to parking in front and back of shops
- 5.) Front and back entries to shops are encouraged
- 6.) Pedestrian breezeways between buildings connecting to adjacent uses
- 7.) Corner plazas with focal features and outdoor dining
- 8.) Trees in tree grates, bulbouts, and planters to soften architectural edge and screen parking. Landscaped areas between facing parking rows is encouraged.
- 9.) Landscape and/or architectural screening of service entries from public street views (and interior pedestrian views where feasible).

# SMALL SHOPS RETAIL



Prominent Architecture & Pedestrian Plaza at Entry Corner

Preserve existing oaks along Brentwood Blvd. to the extend possible. Replant where appropriate.



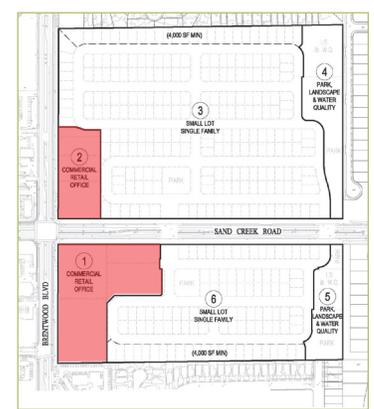
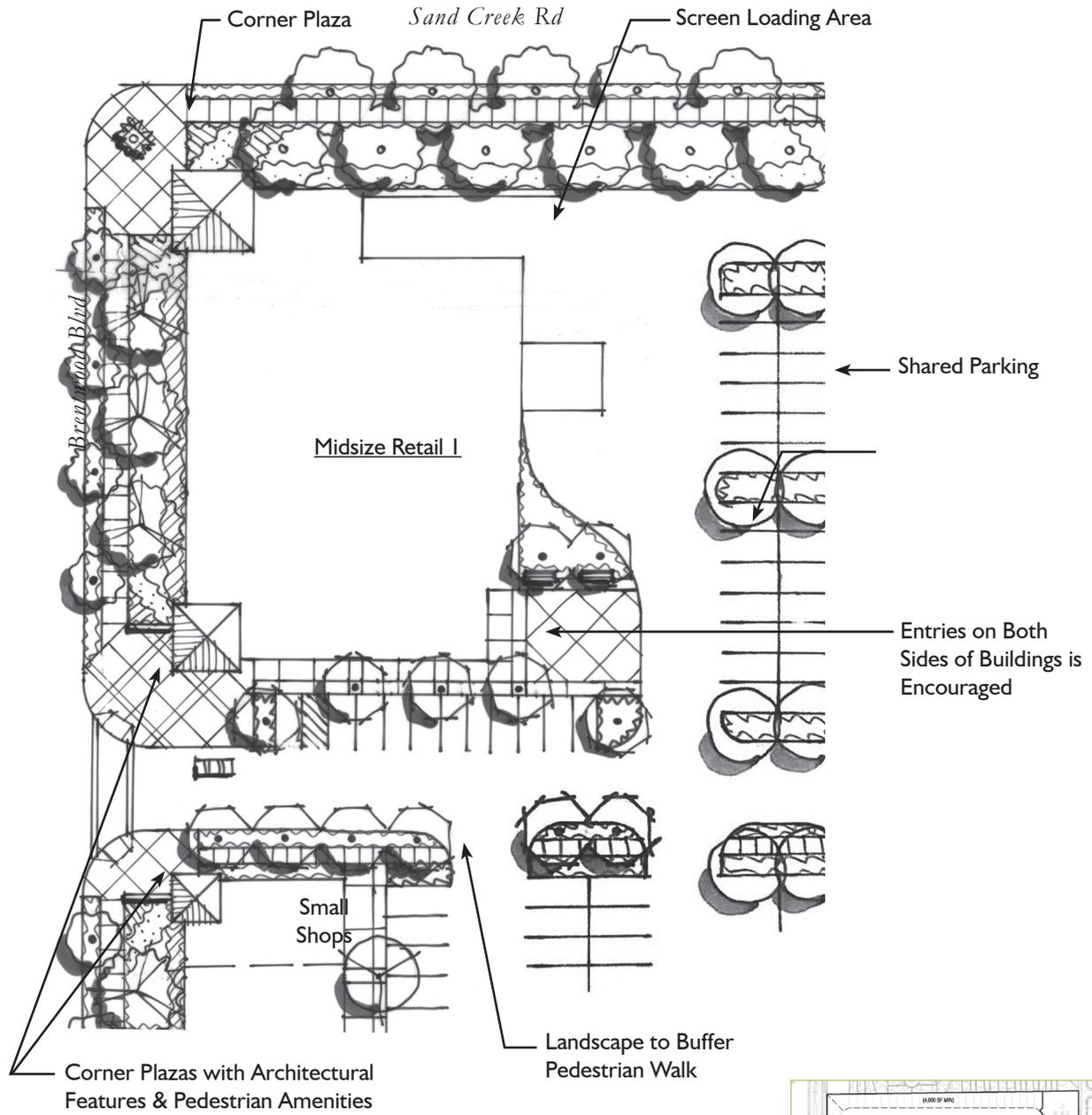
Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

## B.) MIDSIZE RETAIL 1

Midsized retail option 1 may front on Brentwood Boulevard or Sand Creek Road. Midsized retail is characterized as any single user building. It may be mixed with small shops maintaining a pedestrian scale character. The following elements should be considered in the design of midsized retail:

- 1.) Frontage character with a strong street presence
- 2.) Architectural features at visually prominent corners
- 3.) Minimize amount of visible parking
- 4.) Access to parking in front and back
- 5.) Shared parking where appropriate
- 6.) Front and back entries to buildings are encouraged
- 7.) Pedestrian plaza with outdoor eating, display, adjacency to building entry, visibility from streets, and connection to additional open space
- 8.) All edges of building articulated, primary articulations are required for building elevations visible to public streets and secondary articulations are required for rear or side elevations not visually prominent to the public.
- 9.) Pedestrian environment emphasized
- 10.) Strong connection to adjacent buildings
- 11.) Trees in tree grates, bulbouts, and planters to soften architectural edge and screen parking
- 12.) Provide bike parking

# MIDSIZE RETAIL 1



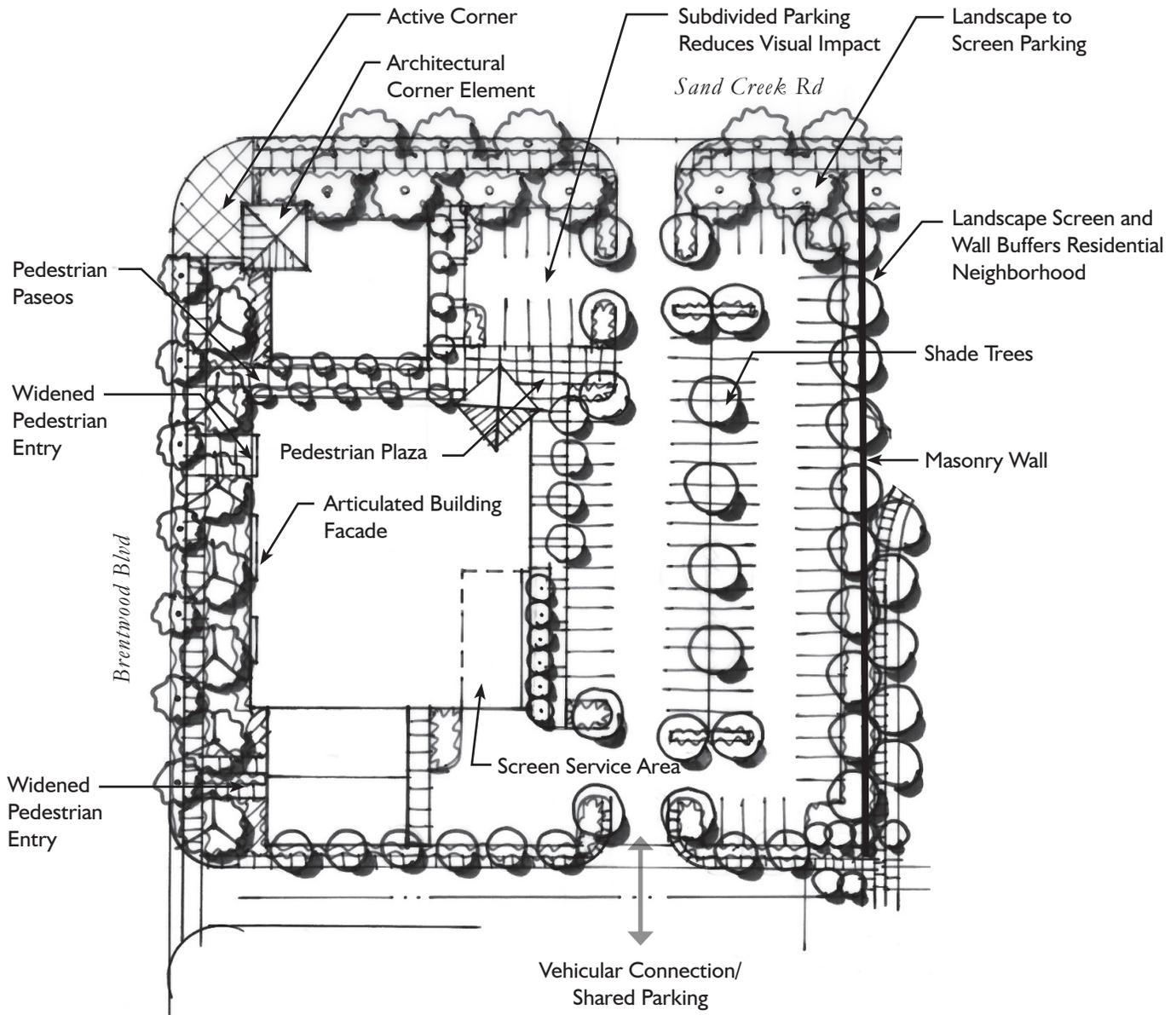
Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

## C.) MIDSIZE RETAIL 2

Midsized retail option 2 is a destination use. It may stand alone or with other small shops maintaining a pedestrian scale character. The following elements should be considered in the design of midsized retail:

- 1.) Could stand alone or be connected to other retail
- 2.) Subdivide shared parking areas to facilitate pedestrian circulation
- 3.) Place along street frontage
- 4.) Building scale buffered by smaller buildings
- 5.) Frontage architecturally articulated
- 6.) Architectural feature at intersection with signage
- 7.) Pedestrian link from street and to other uses
- 8.) Buffer service and loading areas
- 9.) All edges of building articulated, primary articulations are required for building elevations visible to public streets and secondary articulations are required for rear or side elevations not visually prominent to the public.

# MIDSIZE RETAIL 2



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

## D.) DRIVE THROUGH BUSINESS

A drive through business could be a pharmacy, bank or a fast food restaurant. It should be located at or near major arterials and be designed to maintain the integrity of a storefront with pedestrian character. The following elements should be considered in the design of the drive through business:

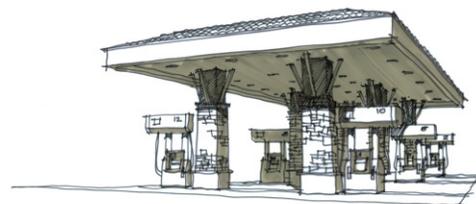
- 1.) Adjacency to and architectural integration with shops
- 2.) Drive through to be screened from public streets by landscaping elements, screen walls or other architectural features
- 3.) Access to parking in front and back of building where possible
- 4.) Entries in front and back of building are encouraged where possible
- 5.) Connection to small plazas for outdoor dining and/or other pedestrian amenities
- 6.) Pedestrian connections to adjacent uses



## E.) GAS STATION

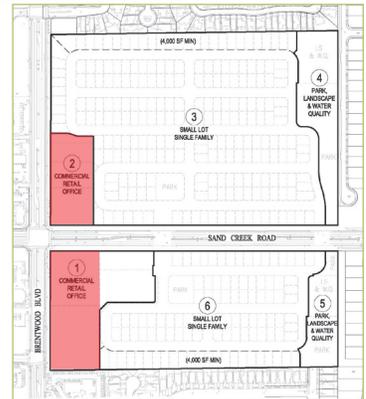
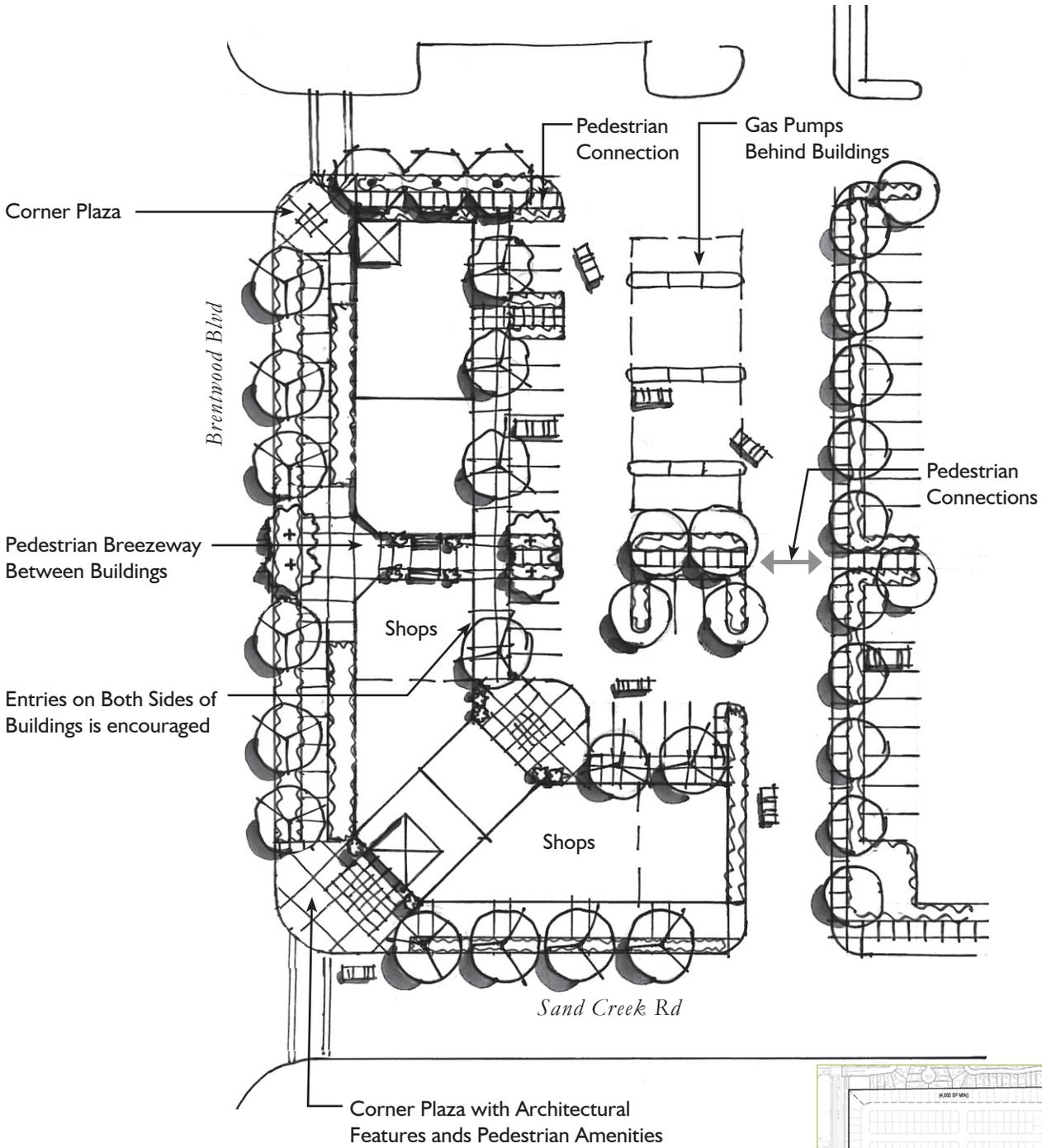
A gas station should be integrated with surrounding architecture so that it appears to be a part of an active streetscape front. The following elements should be considered in the design of the gas station:

- 1.) Gas station architecture should match the style, form, and massing of adjacent commercial buildings
- 2.) Gas station buildings should appear integral, or attached to other buildings when appropriate
- 3.) Canopy detailing, including but not limited to, column styles, veneers, and finishes should match the detailing of adjacent buildings
- 4.) Canopy roofs, including but not limited to, the style, pitch, massing, overhangs, and materials should match the adjacent buildings
- 5.) Canopy to be integrated with site architecture; multiple canopies or canopies that express differing architectural masses are encouraged. Canopy clearance should not exceed 13'-9" with the overall height not exceeding 17 feet. Canopy clearance should be clearly indicated. Canopy ceilings should be textured or have a flat finish.
- 6.) Gas tank vents shall be an integral part of the building design in terms of form, color, and texture.
- 7.) Site lighting should minimize direct and reflected glare and excess brightness.
- 8.) Pump island design should appear well organized and should not contribute to visual clutter. All design elements should be architecturally integrated with other structures on-site (color, material, and detailing); colors should be muted.
- 9.) Gas station layout should be coordinated with the overall Sciortino Ranch site plan, arrangement of buildings and planning elements of neighboring properties.
- 10.) Consistent building setbacks, orientation and relationship of structures to the street and linkages to pedestrian facilities should be provided.
- 11.) Seek shared-access with adjoining commercial uses where feasible to minimize curb cuts and enhance pedestrian and vehicular circulation.
- 12.) Minimize cross traffic conflicts within parking areas.
- 13.) Service areas, storage areas and refuse enclosures should be oriented away from public view and screened from adjacent sites



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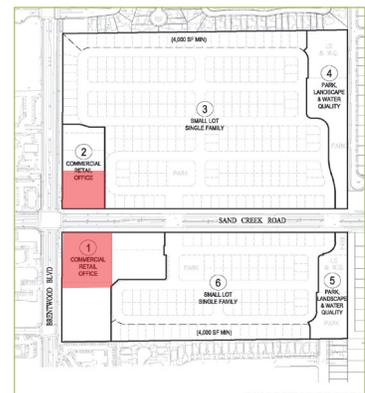
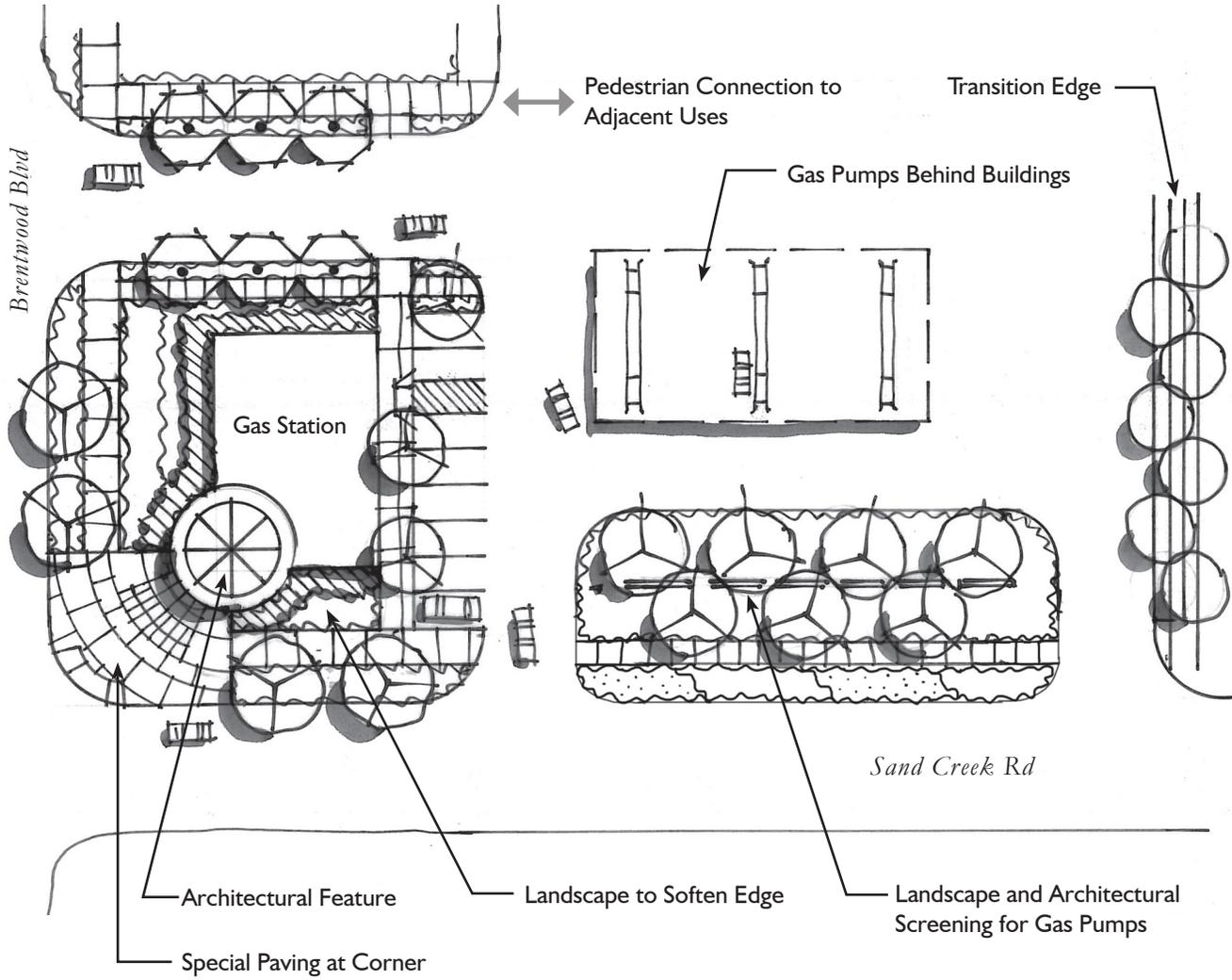
# GAS STATION - EXAMPLE 1



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

- 14.) Orient car-wash openings and associated stacking lanes away from public street views.
- 15.) Building design should take into consideration the unique qualities and character of the surrounding Planned Development area.
- 16.) Buildings that derive their image solely from applied treatments that express corporate identity are discouraged.
- 17.) The design of a facility that occupies a pad or portion of a building within a larger retail complex should be designed to reflect the design elements of that campus.
- 18.) All sides of a building should express consistent architectural detail and character. All site walls, screen walls and pump island canopies and other outdoor covered areas should be architecturally integrated with the building by using similar material, color and detailing.
- 19.) To encourage visually interesting roofs, provide variations in the roof line and incorporate treatments such as extended eaves and parapet walls with cornice treatments.
- 20.) Buildings should reduce their perceived height and bulk by dividing the building mass into smaller-scaled components. Possible treatments to avoid excessive bulk and height include:
  - Low-scale planters and site walls
  - Reveals and or projections of building massing
  - Clearly pronounced eaves or cornices
  - Subtle changes in material color and texture
  - Variation in roof forms
  - Covered pedestrian frontages and recessed entries
  - Deeply set windows with mullions
- 21.) Storefronts should be broken into smaller individual windows or groupings of windows.
- 22.) Building accents should be expressed through differing materials and/or architectural detailing and not through applied finishes such as paint.
- 23.) Building colors should emphasize earth tones. The use of highly reflective or glossy materials should be limited and will not be appropriate in all contexts.
- 24.) Lighted bands or tubes or applied bands of corporate color are discouraged.
- 26.) The use of translucent materials and internally lighted cabinets are discouraged as finishes or as applied treatments at the pump island or on the canopy.
- 27.) Landscaping should be provided near the primary building to anchor it to the surrounding environment and to soften the structure. In-ground landscaping should comprise the majority

# GAS STATION - EXAMPLE 2



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

of the landscaping requirement. Raised planters are acceptable when designed to accentuate the architecture and or create pedestrian seating areas.

28.) Trees should be used throughout paved areas and along pedestrian pathways to provide shade, to reduce heat build-up and to cut glare.

29.) Minimize light trespass beyond property lines. The maximum horizontal illuminance at grade and the maximum vertical illuminance at five feet above grade should not exceed IESNA recommended practice for light trespass

30.) Canopy Lighting Maintained average horizontal illuminance at grade (directly under the canopy) should not exceed 30 footcandles and should conform to IESNA recommended practices.

31.) Individual luminaire lamp wattage should not exceed 250 watts.

32.) Light fixtures mounted under canopies should be completely recessed into the canopy with flat lenses that are translucent and completely flush with the bottom surface (ceiling) of the canopy.

33.) The sides (fascias) of the canopy should extend below the lens of the fixture 12-inches to block the direct view of the light sources and lenses from property line.

34.) Lights should not be mounted on the top or sides (fascias) of the canopy, and the sides (fascias) should not be illuminated.

35.) Ground mounted monument signs are encouraged in lieu of canopy fascia signs.

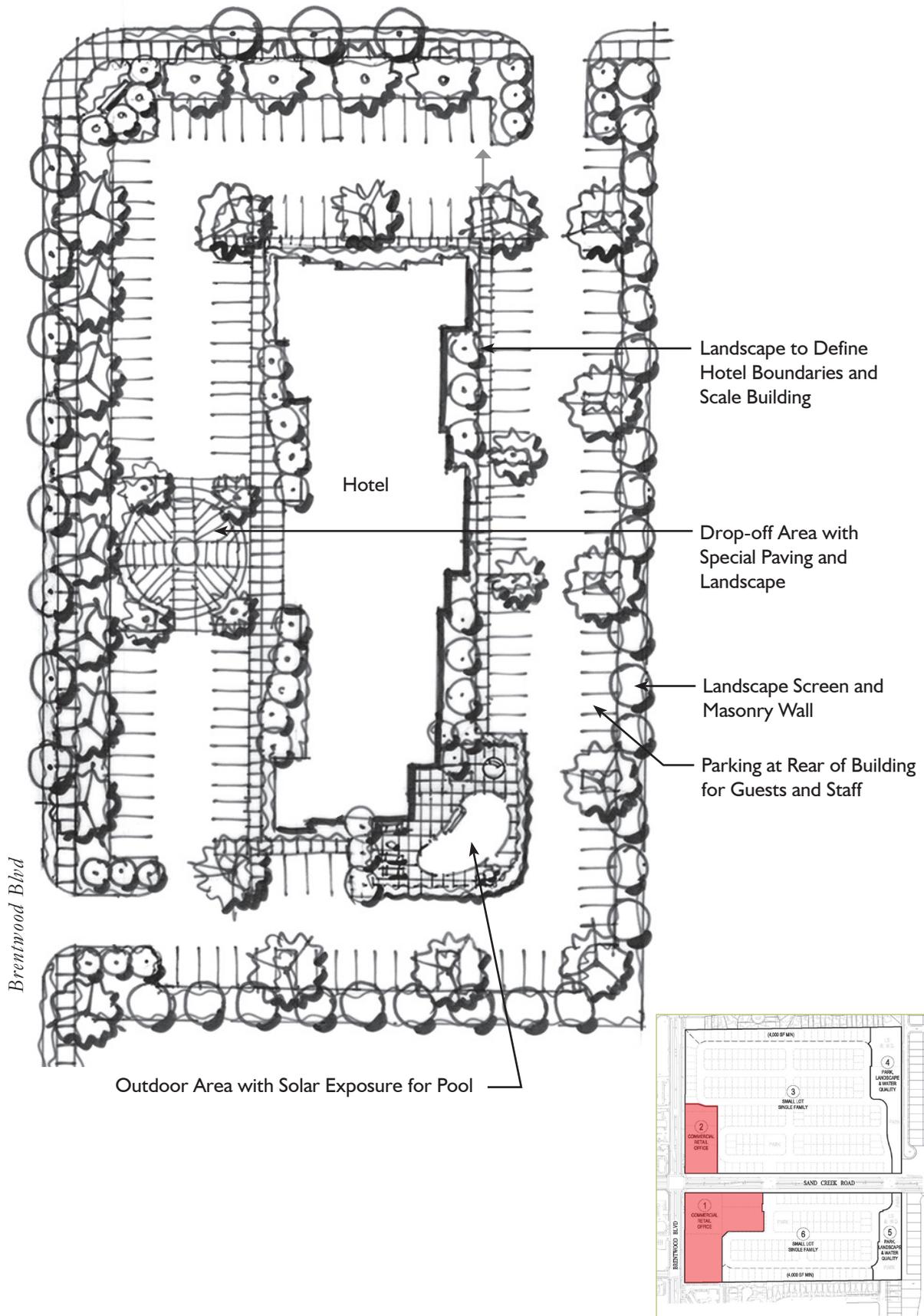
36.) Signage at the pump islands apparatus should be limited to oil company or convenience store name/logo. Safety and operational, and product labeling signs are allowable but should be scaled per state requirements for visibility. Moving displays (either physical motion or digital displays) are prohibited.

## HOTEL

### F.) HOTEL

A hotel should be a stand alone entity located within the site. Although it should be a destination feature it should also be well connected to other site uses. The following elements should be considered in the design of the hotel:

- 1.) Drop-off area highlighted by special paving and landscape
- 2.) Pedestrian connection aligned with entry
- 3.) Pedestrian connection to commercial uses including restaurants
- 4.) Shared parking with commercial uses
- 5.) Vehicular connection to adjacent uses
- 6.) Pedestrian connection to adjacent uses
- 7.) Landscape screen between building and adjacent residential uses
- 8.) Landscape to define hotel boundaries
- 9.) Landscape to scale down building height
- 10.) Outdoor area with solar exposure for pool
- 11.) Shaded outdoor area

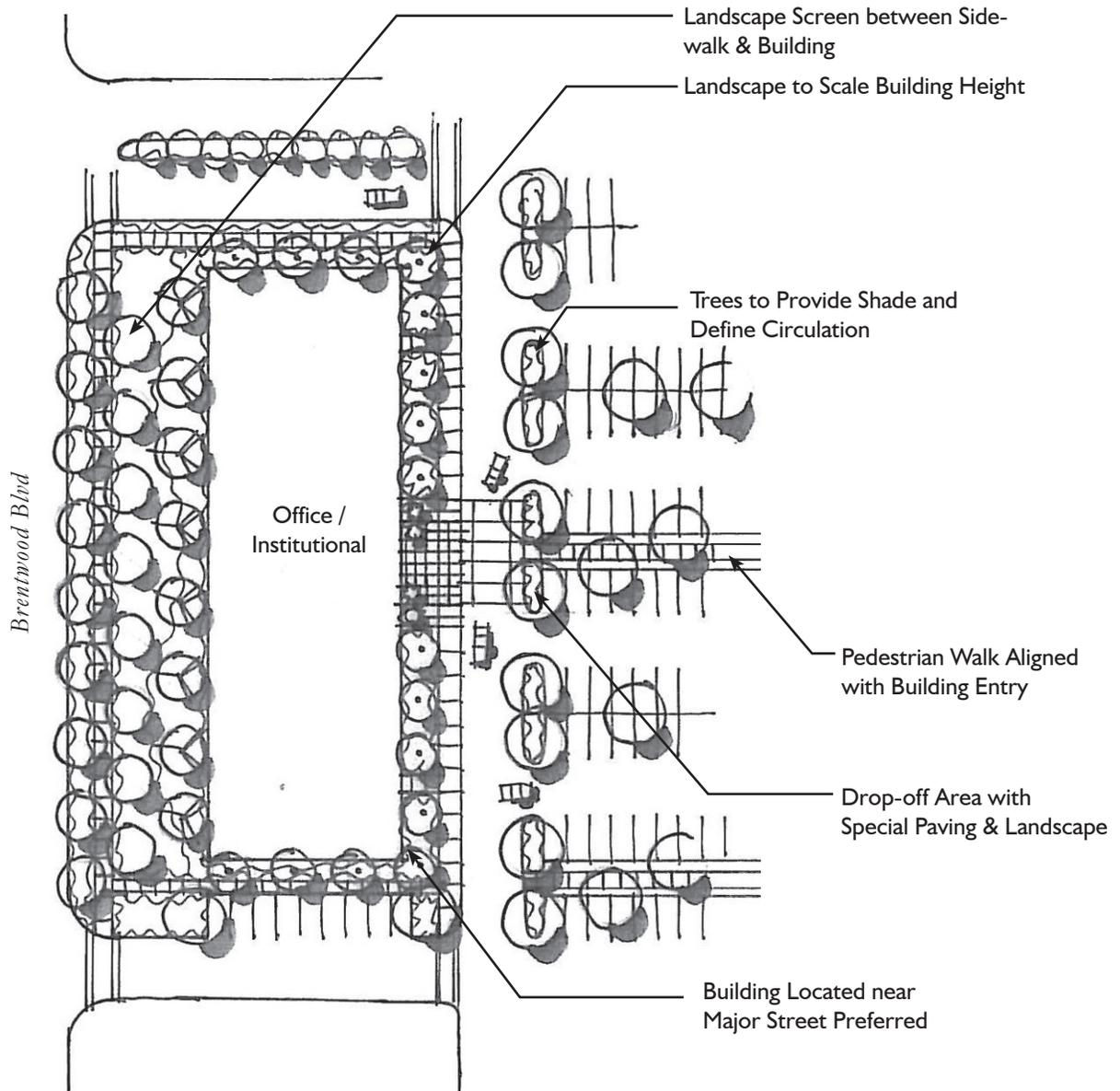


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### G.) OFFICE / INSTITUTIONAL

The Sciortino Ranch can also accommodate office and institutional uses. These facilities may be housed within a single building or complex of buildings. It is essential that these uses are integrated with the balance of Sciortino Ranch. While office-type uses are inherently different in design and use the general architectural character should be consistent with the vocabulary of the site. Clear pedestrian connections should be provided to retail, residential and park areas within Sciortino Ranch. The auto circulation and parking layout should be integrated with the other uses to provide legible patterns to minimize use conflicts.

- 1.) Streetscape frontage should be designed to either support street life activity with doors and storefront windows, or a significant landscape setback should be provided between street and building
- 2.) Opportunities to create shared parking with commercial and residential uses should be encouraged as peak parking activities for each use are opposite
- 3.) Provide logical vehicular connection to adjacent pedestrian connections
- 4.) If a drop-off area is provided, it should be highlighted by special paving and landscape
- 5.) Pedestrian connection should be aligned with building entry
- 6.) Trees should be used to provide shade and to define circulation patterns
- 7.) Provide outdoor use spaces to support internal functions and integrate uses with balance of site
- 8.) All edges of the building shall be articulated to a common design quality on all elevations



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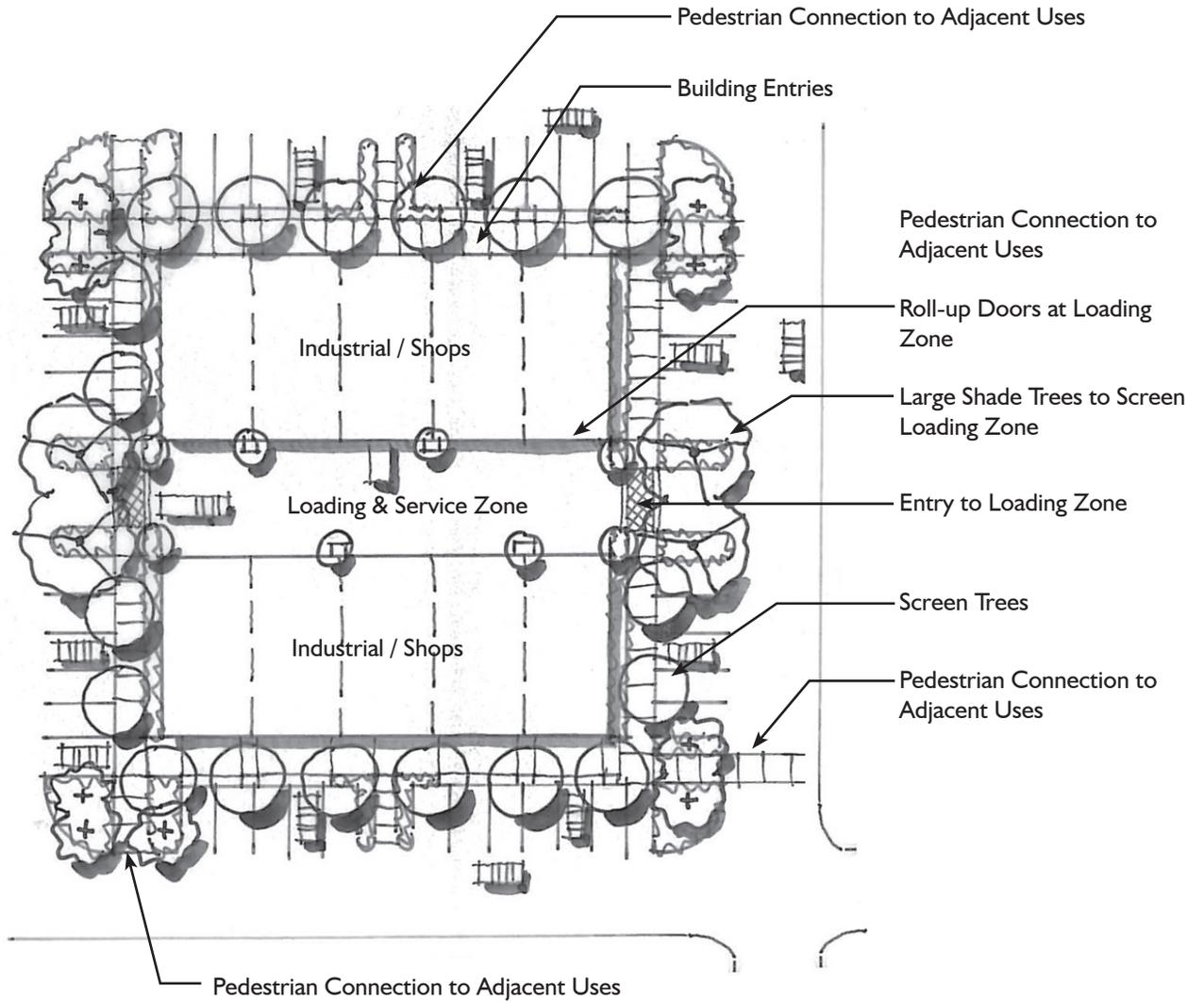
## LIGHT INDUSTRIAL

### H.) INDUSTRIAL

Light industrial uses including self-storage may be accommodated at Sciortino Ranch if they are well integrated into the overall site. Light industrial uses should not be located immediately along street frontages. These uses should be screened from the street frontage by other commercial uses or landscape design elements. The placement of light industrial uses on the site should not detract from pedestrian connections through Sciortino Ranch. The architectural character of visible portions of the building should be consistent with the vocabulary on the balance of the campus.

1.) Roll up door should be “Alley Loaded” and storefront entries located in front and contribute to “pedestrian-friendly” character of Sciortino Ranch.

2.) Truck routes through site should be carefully designed to avoid conflicts.



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

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## 3. RESIDENTIAL DEVELOPMENT

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### 3.1 RESIDENTIAL DESIGN GUIDELINES

### 3.2 ARCHITECTURAL VOCABULARY

### 3.3 SINGLE FAMILY RESIDENTIAL

### 3.4 SUSTAINABLE DESIGN

## 3.1 RESIDENTIAL DESIGN GUIDELINES

### INTRODUCTION

The intent of the Residential Design Guidelines is to regulate the design of all residential uses within the PD 55 Zone. These guidelines are intended to assist the design professional in the design of residential architecture and landscaping within this area. These guidelines are not intended to limit the creativity of the design professional. The City of Brentwood Residential Design Guidelines have been incorporated and where appropriate design concepts have been integrated herein. These Guidelines are separate and specific to the PD 55 Zone and supersede the more general City-wide documents.

### APPLICABILITY

These guidelines are applicable to all of the following;

- Single Family Detached housing
- Accessory Buildings and uses in the residential zones

### CONTEXT

The City of Brentwood is a rapidly growing community with a small town agricultural heritage and a rich and varied history. Dr. John Marsh was the first American settler of what later became Contra Costa County. Dr. Marsh built the first home in Brentwood, which still sits in its original location on the outskirts of Brentwood. In the late 1800's the Brentwood area became an agricultural center. Today, farming is still conducted on the outskirts of the community and draws visitors from the greater Bay Area. Brentwood boasts a historic downtown core with older commercial and residential areas which form the center of the community and continue to provide the small town atmosphere. Newer developments have grown outward from the downtown area, but the City prides itself on maintaining its small town character. The goal of these design guidelines is to create a sense of place for this in-fill property by preserving and enhancing the identity and small town rural character of the city. These residential design guidelines are provided to help articulate the community's desire that new residential development respects the past while embracing the future.

## GOALS

- Establish consistent high quality residential design in the PD 55 zone
- Link Residential as well as Commercial areas within the zone into a cohesive community environment
- Promote both visual continuity and diversity
- Promote a pedestrian friendly community
- Provide a mixed-use community
- Continue to ensure Brentwood remains a desirable and attractive place to live as the City grows

## PURPOSE

The guidelines contained in this document are intended to accomplish the following:

- Ensure development within PD 55 reinforces and supports the scale and character of Brentwood's existing development.
- Provide guidance to property owners, developers, and their design professionals in planning development within this zone.
- Establish a clear statement of community expectations in order to provide a greater degree of predictability and certainty about design expectations during the project review.

## COMMUNITY EXPECTATIONS

- New housing will foster a sense of community and place.
- New residential development will respect the scale and character of adjacent homes and neighborhoods.
- Pedestrian orientation within and between neighborhoods will be emphasized to enhance mobility.
- Variety and diversity of architectural character will be encouraged within all residential zones.
- Enhanced design treatment will be expected on residential facades that are facing or adjacent to public streets.
- Garages that dominate street frontages will be discouraged.
- High-quality durable materials will be used throughout new residential development.
- Careful attention will be given to architectural and landscape details including roof overhangs, windows, porch columns and railings, trellises, and other features that add visual richness to the home and neighborhood.
- A strong commitment will be made to front yard landscaping in all new residential development and homeowners association parcels, where applicable. Plant palettes should include shade and accent trees, flowering plants and other interesting plant selections.

## BASIC DESIGN PRINCIPLES/

The following principles have been used as touchstones for the development of the residential design guidelines. In the event that the specific guidelines do not clearly address a given condition, the Basic Design Principles should be consulted for general direction. The Basic Design Principles will be used by the planning staff and Planning Commission/City Council when evaluating all residential projects in Sciortino Ranch, and when considering the acceptability of unique proposals that vary from the specific guidelines.

### 3.2 ARCHITECTURAL VOCABULARY

The eleven architectural styles profiled in these Guidelines offer a range of building types and styles that owe their lineage to both architectural heritage of early California and the western expansion of architectural styles from the east coast of the United States and Europe. They were especially fluent from the 1880's through the 1940's, and now form the primary vocabulary of many of California's attractive, established neighborhoods. The styles represent an inherent attractiveness, informality, and elegance that have enabled them to remain popular over an extended period of time. They all have historic precedents and are visually compatible with one another. These styles possess market appeal, community acceptance and can be successfully expressed in modern merchant built homes.

Future design professionals utilizing these Guidelines should clearly articulate the architectural styles consistent in their proportions and details through basic massing and roof forms with authentic detailing characteristic of the style.

#### ARCHITECTURAL STYLES

An important goal of the planned community is to develop an interesting mix of plans and elevation styles within each housing product line, and to ensure balanced and varied streetscapes. In order to achieve this, multiple styles should be selected from the following list for each single-family neighborhood.

The architectural styles have been divided into four architectural groups. Each group represents one of the great movements in the development of architectural styles in the United States and specifically California. The styles are grouped as follows:

#### **Cottage**

- French Country
- English Tudor

#### **Mediterranean**

- Spanish Eclectic
- Monterey
- Tuscan

#### **American Heritage**

- Craftsman
- Arts & Crafts
- Prairie

#### **Traditional**

- Farmhouse
- Classic Revival
- East Coast

## MEDITERRANEAN MONTEREY, SPANISH ECLECTIC, TUSCAN

### HISTORICAL PRECEDENT

Mediterranean style homes were developed during the period of 1890 to 1950. The styles range from Tuscan to Monterey. The period began and grew as architects, designers, and patrons experienced first-hand the style of the original European models. With that experience each style was mimicked in visual detail adapting materials that were available to the region. The Monterey style, towards the end of the period, was a free revival of the Spanish Eclectic style fused together with details of the Colonial Revival style that were brought to areas of Northern California.



### DESIGN CHARACTERISTICS

The design characteristics provide essentials for massing, scale, proportion and building materials, in understanding these particular styles. Generally they are identified as:

- Low-pitched hipped or gable roof
- S-tile or villa tile roof material
- Light textured stucco
- Window shutters
- Exposed wood posts and beams

In addition to the generally accepted characteristics of the Mediterranean period, each style exhibits its own defining features as follows:

#### Monterey

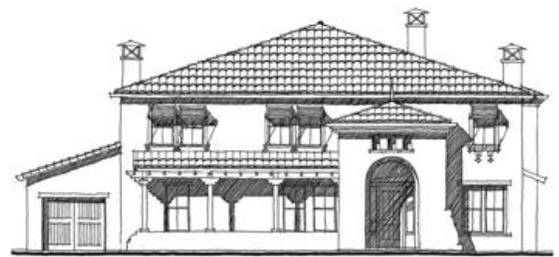
- Two stories in height

#### Spanish Eclectic

- Little or no eave/rake overhang
- One or more prominent arches placed above door or principal window, or beneath porch roof

#### Tuscan

- Field stone wall base with colored grout mortar
- Recessed windows

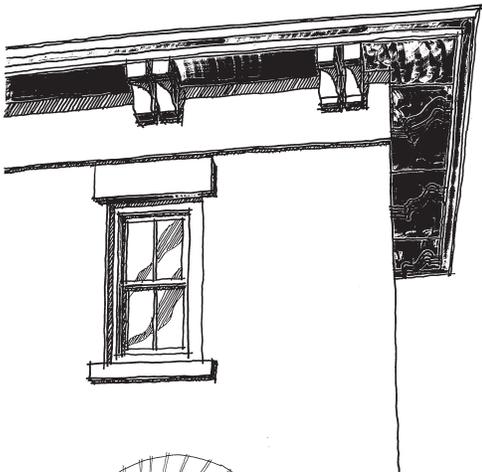


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## ARCHITECTURAL STYLES - MEDITERRANEAN

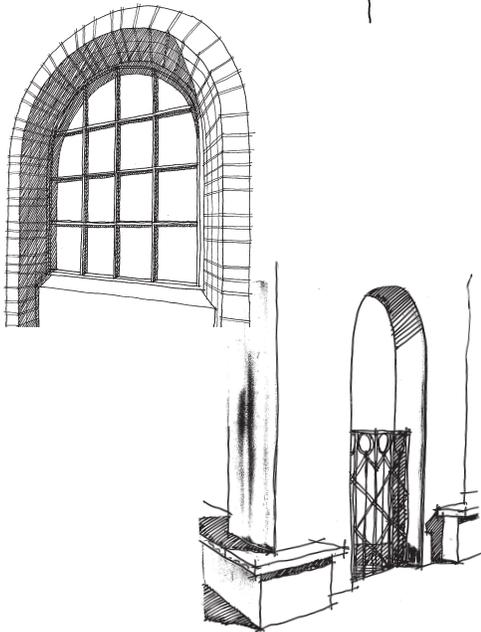
### FORM

Simple one and two story massing with low pitched gable, hip, and shed roofs. The styles may incorporate courtyards, patios, front entry garden walls, colonnades, archways and balconies generally in asymmetric composition. Wall mass appearance tends to dominate wall openings. Asymmetry is found in balcony and roof compositions of differing heights. Towers and turret elements are used occasionally.



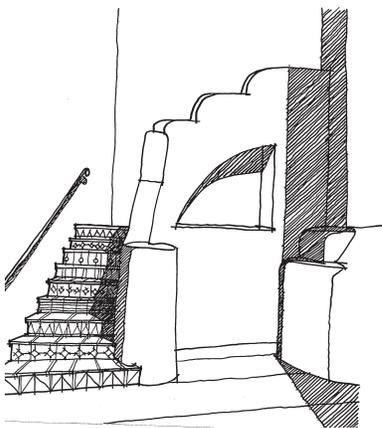
### ROOF

Low-pitched s-tile or villa tile roofs ranging from 3 1/2:12 to 4:12 with overhangs are typically 6"-12". Spanish Eclectic and Monterey which exhibit tight rake overhangs. Roofs can be hipped, gabled, or shed types.



### ELEMENTS

Trim elements include door surrounds, columns, lintels at window and door heads, wrought iron or wood rails, grills, and pot shelves. Windows may be enhanced by shutters, projecting awning shutters, or simple balconies with wrought iron railings. Windows are further detailed with grid patterns typical of each style. Feature windows may be recessed.



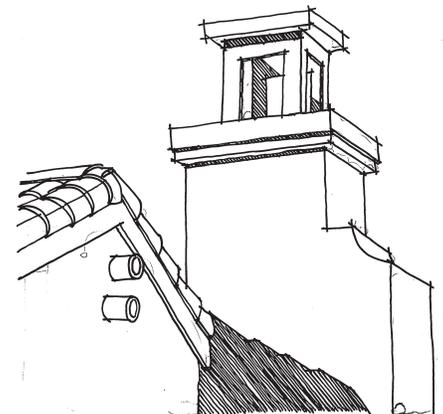
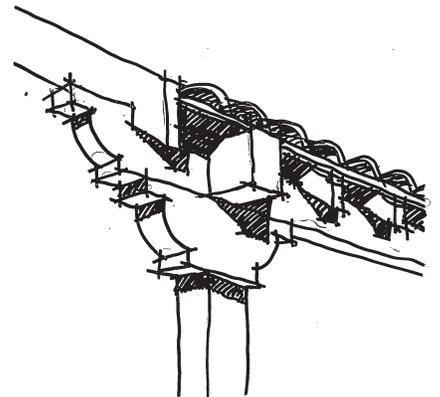
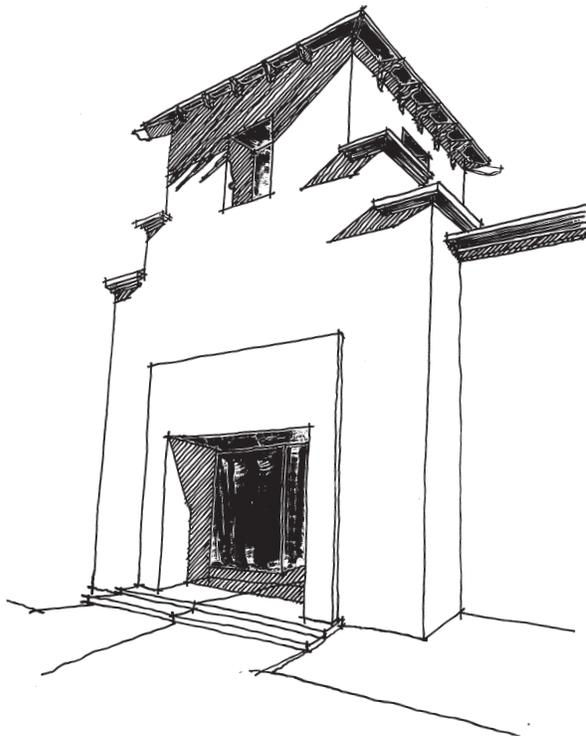
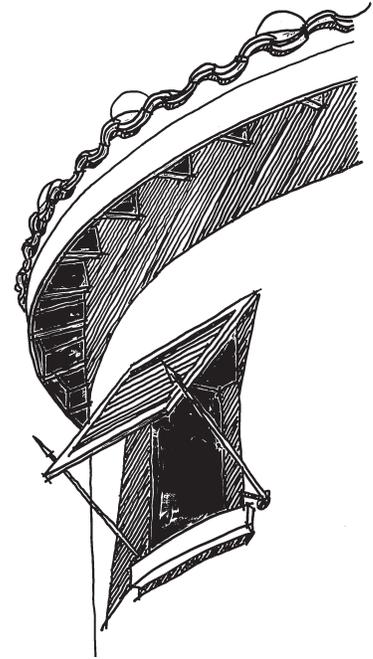
Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

MATERIALS

Walls are typically stucco and tend to appear thick and massive. Stone veneers are not typical of the style except for the Tuscan. First and second story cladding materials tend to be different for the Monterey style, with wood over stucco being common. Porches and balconies are expressed with exposed wood posts and beams.

COLORS

Roof tiles are used in a variety of terra-cottas, browns, tans and warm reds. Wood members are painted darker colors, simulating the look of stain. Rich, saturated hues of yellow, tan, salmon and melon comprise the range of stucco colors for the Tuscan while off-whites to light tans are characteristic of the other styles. Wrought iron accents are deep, dark shades of brown, red, green, and classic black. The stone profile should reflect the character of the elevation. Trim elements are expressed with deeply tinted whites to lighter wood tones.



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

## ARCHITECTURAL STYLES - COTTAGE COTTAGE

### FRENCH COUNTRY, ENGLISH TUDOR STYLES

#### HISTORICAL PRECEDENT

English Tudor and French Norman architecture provide the basis for the quaint charm of the Cottage style. Its charm is expressed with informal details, rustic materials and asymmetrical massing. Examples of this unpretentious style can be found in neighborhoods such as Pasadena, Berkeley, and San Francisco.



#### DESIGN CHARACTERISTICS

The design characteristics provide essentials for massing, scale, proportion and building materials, in understanding these particular styles. Generally they are identified as:

- Steep pitched roofs
- Projecting gables with tight rake edges
- Sculptured stucco walls and recessed accents
- Vertical massing

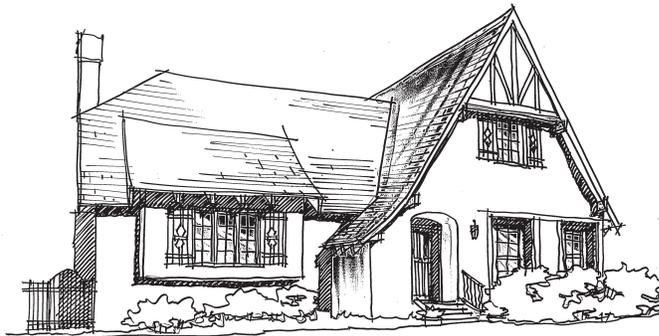
In addition to the generally accepted characteristics of the Cottage period, each style exhibits its own defining features as follows:

#### French Country

- Steep pitched roofs with gently sloping elements
- Tight eaves or close fascias

#### English Tudor

- Faux timbering in the stucco field
- Dormer windows that break the eaves of the main roof



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

FORM

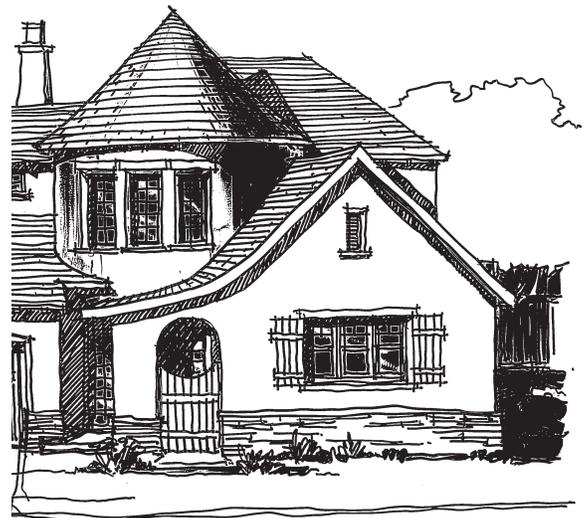
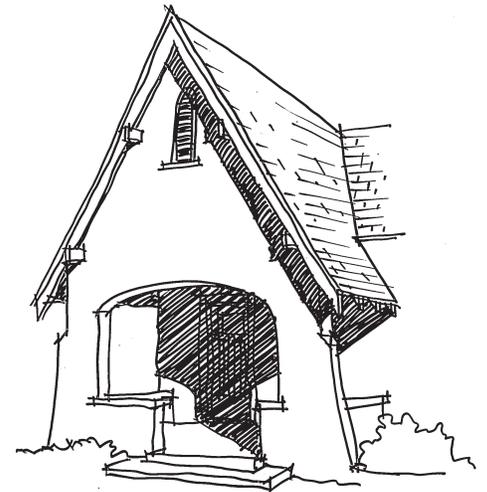
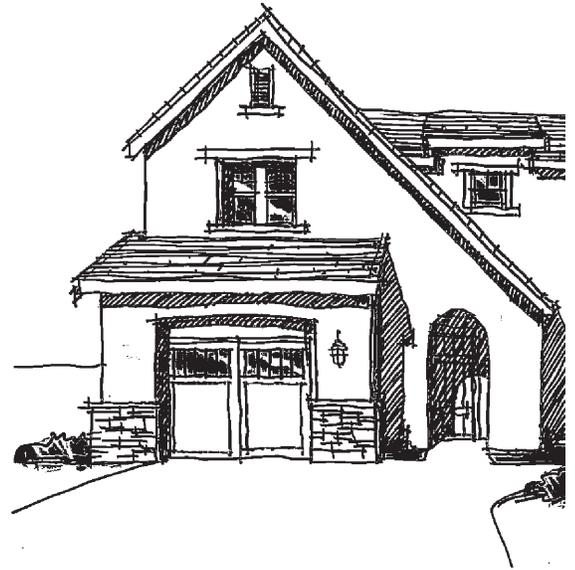
Cottage massing is typified by one and two story asymmetric forms often with a lowered roof plate on the second story. Building form usually consist of interlocking simple or stepped forms accented by feature gables and the occasional use of tower or front facing cross gable elements. Entries are typically covered in an alcove or tower, or deeply recessed in a front facing gable element.

ROOF

Roof pitches are typically steeper than other styles, often with a curving element. Flat slate like profile and texture tile roofing with 6:12 to 12:12 pitches with minimal overhangs of 6"-12". Roof forms include combined hip, shed and gable forms. Front facing gables may be asymmetrical or curved over a feature window or entry element. Dormers often punctuate hip roofs providing architectural interest at the eave line and above. Roof pitch is typically steep on feature elements with shallower pitch on primary roofs. Architecturally dimensioned composition roofing material is an option to tile or concrete tile products.

ELEMENTS

Well articulated chimneys, bay windows, shutters, and dormer windows are widely used. Tall, narrow, multi-paned windows in multiple groupings are typical. Flat arch top windows and shutters are used occasionally. Character details include window boxes and accent elements and/or trim in gable ends. Masonry may be either brick or stone, but must always have a rusticated appearance.



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

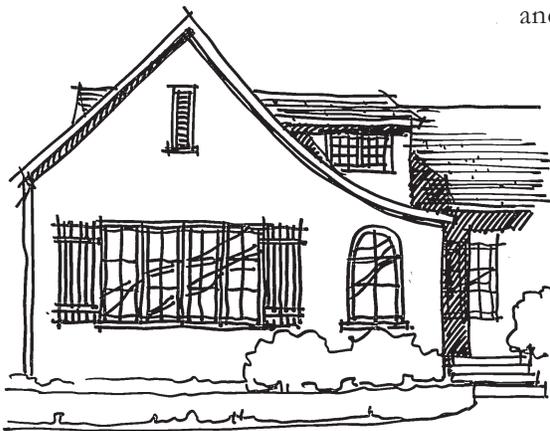
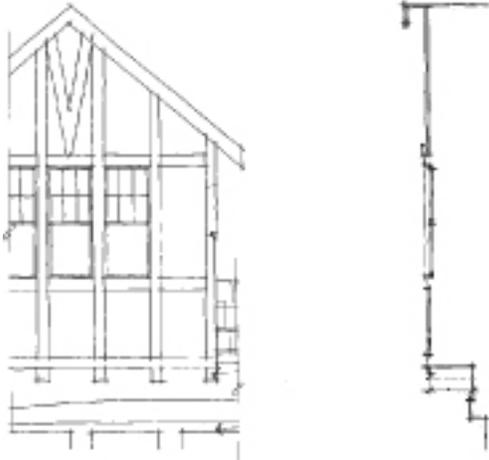
## ARCHITECTURAL STYLES - COTTAGE

### MATERIALS

Characteristic materials for the cottage style include stucco, stone veneers and wood siding used as an accent on gables. Tudor variations are identified with the inclusion of faux timber elements in the stucco field. Brick is occasionally used as an accent as a wall cap or sill. Combining materials is characteristic of this style. Quality alternative materials may be substituted for natural materials to achieve longevity and ease of building maintenance.

### COLORS

The Cottage style is characterized by soft, muted colors that are reminiscent of those found in the rural architecture of France and England. Flat concrete roof tile in shades of gray, blue, green, beige and plum emulate the natural slate roofs of Europe. Stucco colors are soft, mid-value hues of beige, tan, yellow, grey and green. Trim areas are defined with soft, tinted whites, which are in subtle contrast to the body color. Accents of muted blue, green and red are used for entry doors and shutters.



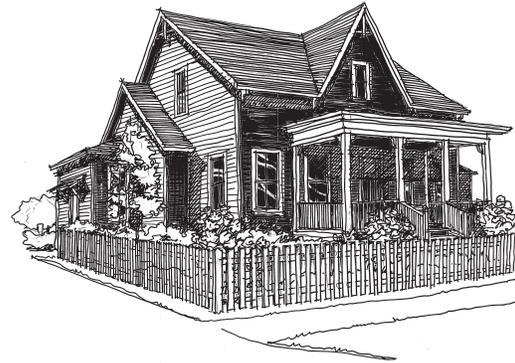
Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

**TRADITIONAL**

**FARMHOUSE, EAST COAST, CLASSIC REVIVAL STYLES**

HISTORICAL PRECEDENT

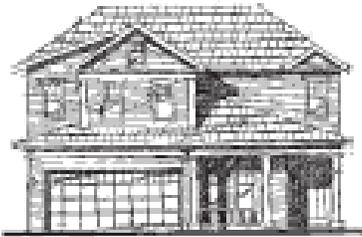
Traditional period home styles were developed during the period of 1820 to 1890. The period styles range from Classic Revival to Farmhouse. These styles were shaped by the available and emerging building technologies of the era as well as the expanding access to common building materials. These styles reflected many classical details which over time were shaped to accommodate the westward expansion of the growing American nation.



DESIGN CHARACTERISTICS

The design characteristics provide essentials for massing, scale, proportion and building materials, in understanding these particular styles. Generally they are identified as:

- Variable size entry porch with style specific detailing
- Prominent gable roof forms with occasional use of hip roof forms
- Horizontal siding with various exposures
- Vertical proportioned windows



In addition to the generally accepted characteristics of the Traditional period, each style exhibits its own defining features as follows:

Farmhouse

- Steep gable roof pitches
- Entry porch with separate shed roof and minimal detailing



East Coast

- Smaller entry porch accented with pediment and/or arch
- Windows aligned and symmetrical with expressive lintels and sills

Classic Revival

- Low pitch gable or hipped roof forms with pediments expressed at the gable ends
- Two part cornice along roof eave



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

## ARCHITECTURAL STYLES - TRADITIONAL

### FORM

Simple one and two story massing with simple single pitch roofs. Massing is typically in rectangle or square form and occasionally seen in an 'L' shape. Variable sized porches are prevalent in each style and tend to be expressed as an additive element to the main building form.

### ROOF

Steeper pitch roofs (7:12 - 12:12) are found on the Farmhouse and East Coast styles while the Classic Revival style exhibits lower pitch roofs (4:12 - 6:12). Roofs are most common with simple gables either front or side facing. Hip roofs may also be used and are usually seen on simple equilateral forms. Overhangs are typically 12" - 18" with eaves either open (Farmhouse) or closed (Classic Revival).



### ELEMENTS

Entry door trim elements are particularly elaborate in East Coast and Classic Revival styles while the Farmhouse style is much more simplified to reflect the frontier nature of its roots. Windows are typically enhanced with expressive trim elements along the lintel and sill. Shutters are also used to express the window and are often found on most if not all front facing windows. Windows are also vertically proportioned.



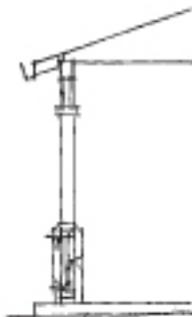
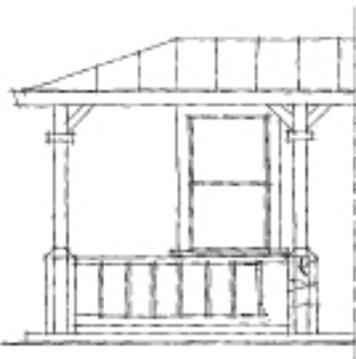
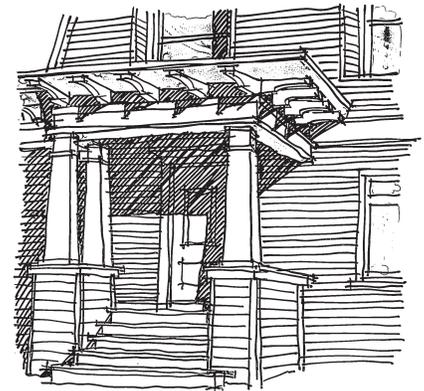
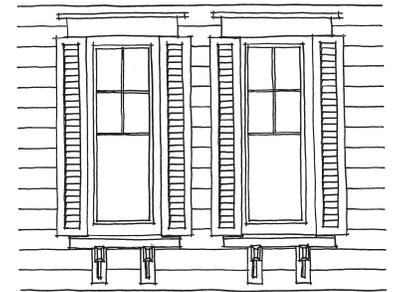
Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

MATERIALS

Concrete roof tiles in the likeness of shake roofing are appropriate for these styles. Wall materials are typically in the form of horizontal siding of various exposures. On occasion board and batten siding can be found on the Farmhouse style. Stone and brick are typically not found with these styles although brick may be used lightly at the foundation base of the East Coast and Classic Revival styles. Quality alternative materials may be substituted for natural materials to achieve longevity and ease of building maintenance.

COLORS

Concrete tile in shades of gray, black, and blue are most appropriate for the East Coast and Classic Revival styles. Concrete tile in natural wood tones are appropriate for the Farmhouse style. A wide range of colors are appropriate for the siding material, from tinted whites, beiges, and yellows to grays, greens, and blues. Trim is often a shade of white, but can select shades of brown, green, and gray with lighter body colors. Doors and shutters are brought out with deep hues of blue, red, and green. Natural shades of red are the most appropriate colors for brick if used.



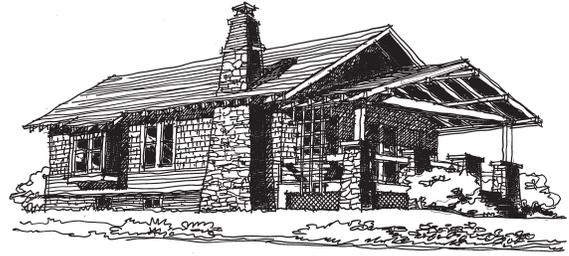
## ARCHITECTURAL STYLES - AMERICAN HERITAGE

### AMERICAN HERITAGE

#### PRAIRIE, CRAFTSMAN, ARTS & CRAFTS STYLES

##### HISTORICAL PRECEDENT

This style group draws from the popular architectural movements of the later part of the 19th century and the early parts of the 20th century. These styles stress the importance of natural elements to create a warm livable home. The designers of the period believed it was necessary to give artful attention to both the exterior and interior of the home. As a result many details such as, windows, stair rails, or ceilings were designed as if they were a furniture piece.



##### DESIGN CHARACTERISTICS

The design characteristics provide essentials for massing, scale, proportion and building materials, in understanding these particular styles. Generally they are identified as:

- Low-pitched hipped or gable roof
- Wide-overhanging eaves
- Emphasis on horizontal lines

In addition to the generally accepted characteristics of the American Heritage period, each style exhibits its own defining features as follows:

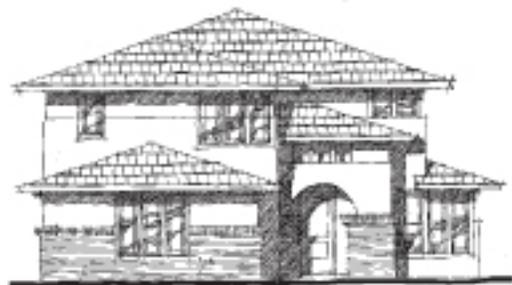
##### Prairie

- Half-round arched elements at prominent openings
- Massive square or rectangular piers used to support porch roofs



##### Craftsman

- Board and batten or clapboard siding with various course exposures
- Decorative beams or braces commonly added under gables



##### Arts & Crafts

- Use of shingle cladding to emphasize asymmetrical facade massing
- Stone and/or brick veneer is often used at the lower portion of the elevation
- Porch columns, piers, and front facing walls are sloped

Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

FORM

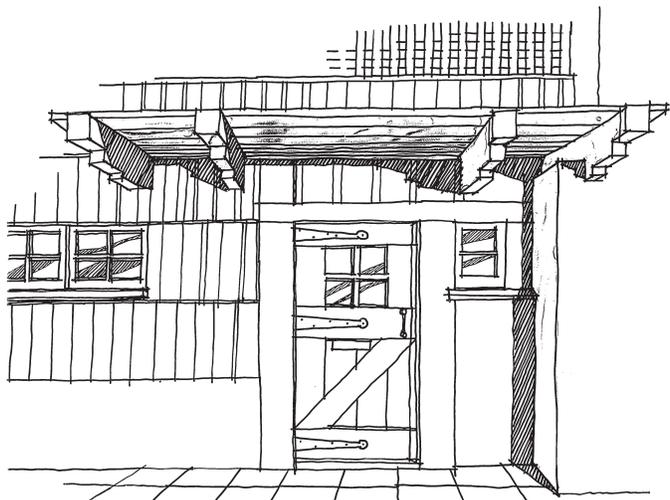
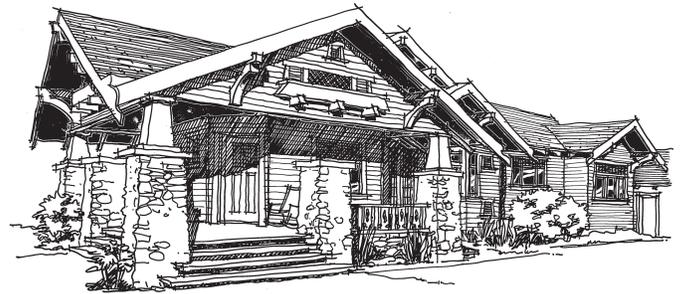
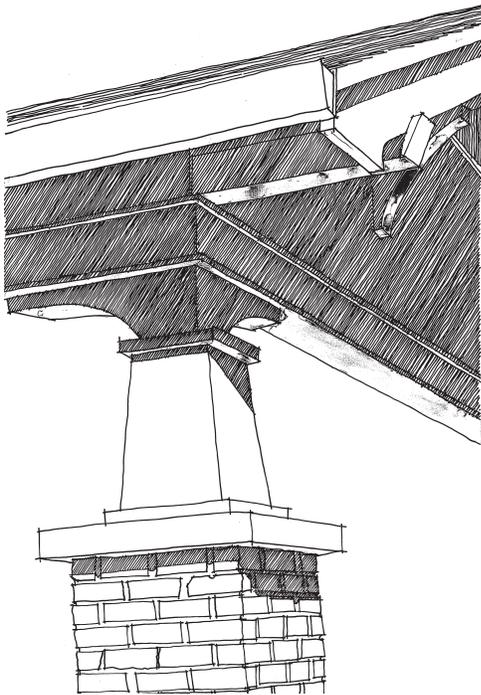
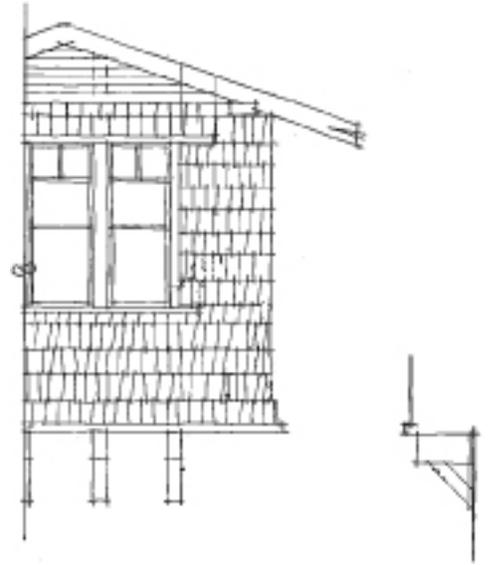
These styles are typically one and two story box like massing with gable or hip roof and predominantly horizontal appearance. The front has a full or partial width porch with decorative columns. Typical variations include solid porch balustrades, columns, or decorative wood upper sections resting on massive appearing lower piers.

ROOF

Flat tile or shake-like roofing with 3:12 to 4:12 pitches. Overhangs are (6"-12") and unenclosed, often detailed with elaborate exposed rafter tails or barge boards for the craftsman and arts & crafts styles. Deep enclosed eaves occur mainly on the prairie style. Decorative ridge beams and purlins under the gables are used widely.

ELEMENTS

Elements include unique windows with vertical panes, wood trim, and mullion configurations, typically used in horizontal groupings. Extensive use of heavy ornamental wood treatment at gables, beams, brackets, railings, and occasionally wood shutters are characteristic of these styles.



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

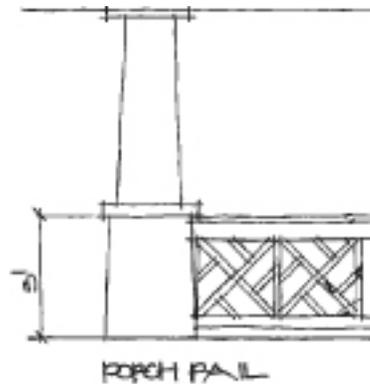
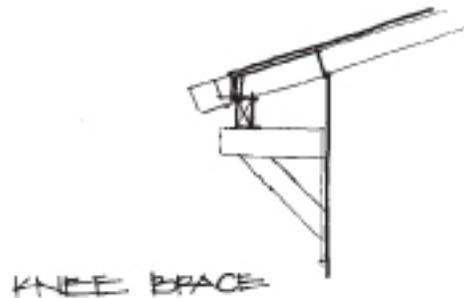
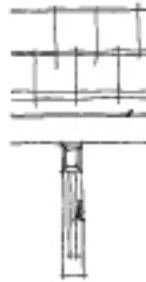
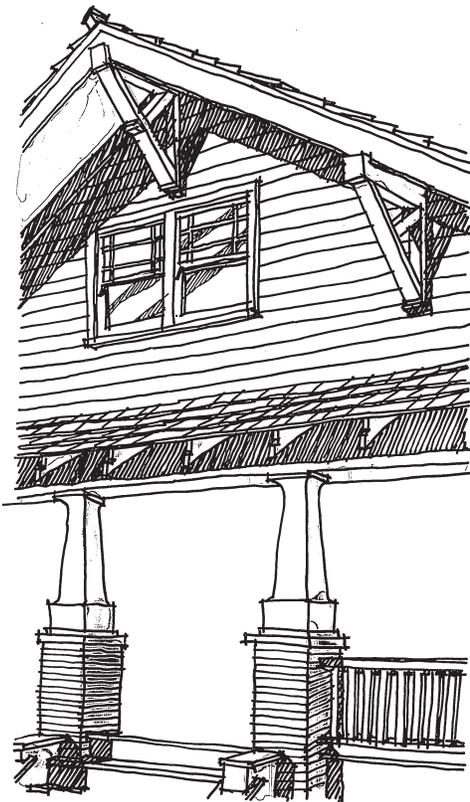
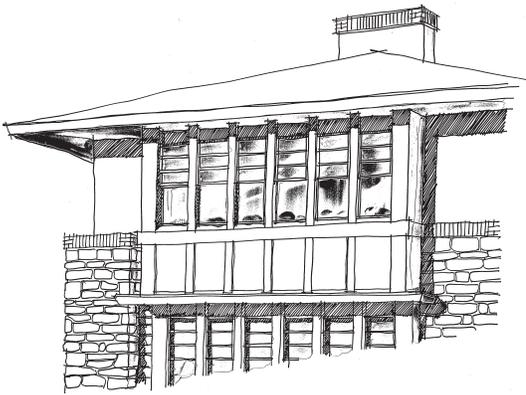
## ARCHITECTURAL STYLES - AMERICAN HERITAGE

### MATERIALS

Characteristic materials include horizontal wood siding, shingles, or stucco. These may be used alone or combined with stone or brick accents for the facade. Porch bases, wainscot, lower half of columns and chimneys are typically stone or brick. Piers, columns and solid balustrades are varied including stone, stucco, clapboard, shingle and brick, frequently occurring in combination. Quality alternative materials may be substituted for natural materials to achieve longevity and ease of building maintenance.

### COLORS

Roofs are concrete tile with shake texture, in shades of warm green or brown. Siding, stucco, and trim comprised of earth tones ranging from warm greens and browns to tans and ochre yellows. Accent colors are rich, earthly shades of green, red, and brown. Brick should have a rustic, handmade look reminiscent of clinker brick. Stone may be smooth, rounded shape of 'river rock', or a more textural, rubble like appearance.



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

### 3.3 RESIDENTIAL DESIGN GUIDELINES

The following are design objectives in which the City will compare future development applications for starting to adhere to quality design. The spirit of design implementation to a given site plan is the primary goal of these objectives, not the strict execution of each and every design objective.

#### PERMITTED USES:

The following uses shall be permitted in the Single Family Residential portions of PD-55

- Detached single family dwellings.
- Accessory structures and uses.
- Common recreation area, facilities and buildings for use by on-site residents.
- Home based business occupations subject to obtaining a Home Occupation Permit and in conformance with Title 17 of the Brentwood Municipal Code.
- Accessory facilities or buildings related to the primary use including a community center, leasing or sales offices, recreation buildings and fitness facilities for use by residents and their guests, equipment maintenance areas, and similar uses subject to the approval of the Community Development Director.
- Small family residential care facilities and group homes.
- Keeping of household pets.
- Rooming and boarding as further regulated in Title 17 of the Brentwood Municipal Code.
- Parks, playgrounds and improved open space and trails.

#### CONDITIONALLY PERMITTED USES:

- Community facilities serving the public in addition to residents of a particular development.
- Large residential care and day care facilities as further regulated in Title 17 of the Brentwood Municipal Code.
- Assisted living facilities.
- Other uses that the Community Development Director determines because of the type of operation, material stored, or other special circumstances that require special consideration and conditioning through the conditional use permit procedure provided the use is consistent with the goals of this Planned Development.

## INTRODUCTION

Sciortino Ranch will encourage a strong sense of neighborhood within a framework that retains the traditional sense of suburban community that has emerged as Brentwood has developed over time.

Special design considerations include:

- Avoidance of garage dominated street frontages.
- Minimizing building bulk on small lots.
- Privacy between units.
- Outdoor private space usability.
- Adequate landscaping to create attractive streetscapes.
- Development of attractive streetscapes that provide visual variety along street fronts.

## INTENT

The Sciortino Ranch project will be a single-family multiple lot subdivision containing lots of 3,375 square feet and larger, with an average lot size of 3,835 square feet. These guidelines are intended for multiple-lot subdivision developments where a limited number of floor plans and exterior design treatments are repeated throughout the neighborhood. Small lot single-family developments have become increasingly common, as land and building costs have increased. Lots averaging 3,835 square feet have the appeal of providing a relatively affordable and easy to maintain house while retaining some of the individual identity offered by larger lots. The City has a good base of experience in reviewing and tailoring single-family subdivisions to the unique conditions of Brentwood. These guidelines are a summary of the standards and techniques that have been successfully utilized along with additional guidelines to assist the creation of viable neighborhoods in the PD 55 Zone.

The intent of these design guidelines is to:

- Create a fabric of viable and connected single-family neighborhoods.
- Maintain a high-quality streetscape appearance and encourage visual variety within the subdivision.
- Facilitate positive landscape interface between subdivision and the public road network.
- Locate units with active living space windows facing neighborhood streets to provide “eye on the street” and facilitate residential monitoring of public spaces.
- Enhance the livability of small lot homes.

- Integrate the neighborhood comfortably into overall community fabric.
- Minimize the visual mass and bulk of the structures

## SITE PLANNING

### Neighborhood Layout

- Provide connections to the adjacent neighborhood to the east through location of neighborhood parks accessible to both neighborhoods.
- Expand open space views within the community by locating detention areas adjacent to neighborhood parks.
- Limit the use of soundwalls wherever possible.
- Limit sound walls to the minimum height required for sound mitigation and the provision of privacy. Design sound walls in conjunction with landscaping to minimize visual impact in terms of height and length. When feasible utilize earth berms to reduce the overall height of sound walls.
- Sound walls should be of solid and durable construction. Graffiti resistant material should be used. The inclusion of decorative hand laid block is encouraged as are upgraded prefab masonry walls (e.g., textured designs).
- Break up sound walls with decorative columns and pilasters, especially at corners and wall breaks.
- Five foot fence setbacks are required for corner lots on a public street.

### Parking Design

- On-street parking is provided on all interior streets.
- Guest parking and pedestrian sidewalks are desirable on both sides of interior public streets.
- Focus street views on landscape amenities wherever possible – not cars or garages.
- Sidewalks are provided on all local streets, and link the project with adjacent public streets.
- Driveway aprons for garages should be at least twenty feet.

### Landscape

- Provide landscaping along access streets, and at front and street-side yards.
- Provide a minimum of one accent tree (15 gallon min.) per lot in the front yard in addition to the street trees.
- Flowers and other ornamental plantings are encouraged.

## BUILDING DESIGN

### Form & Massing

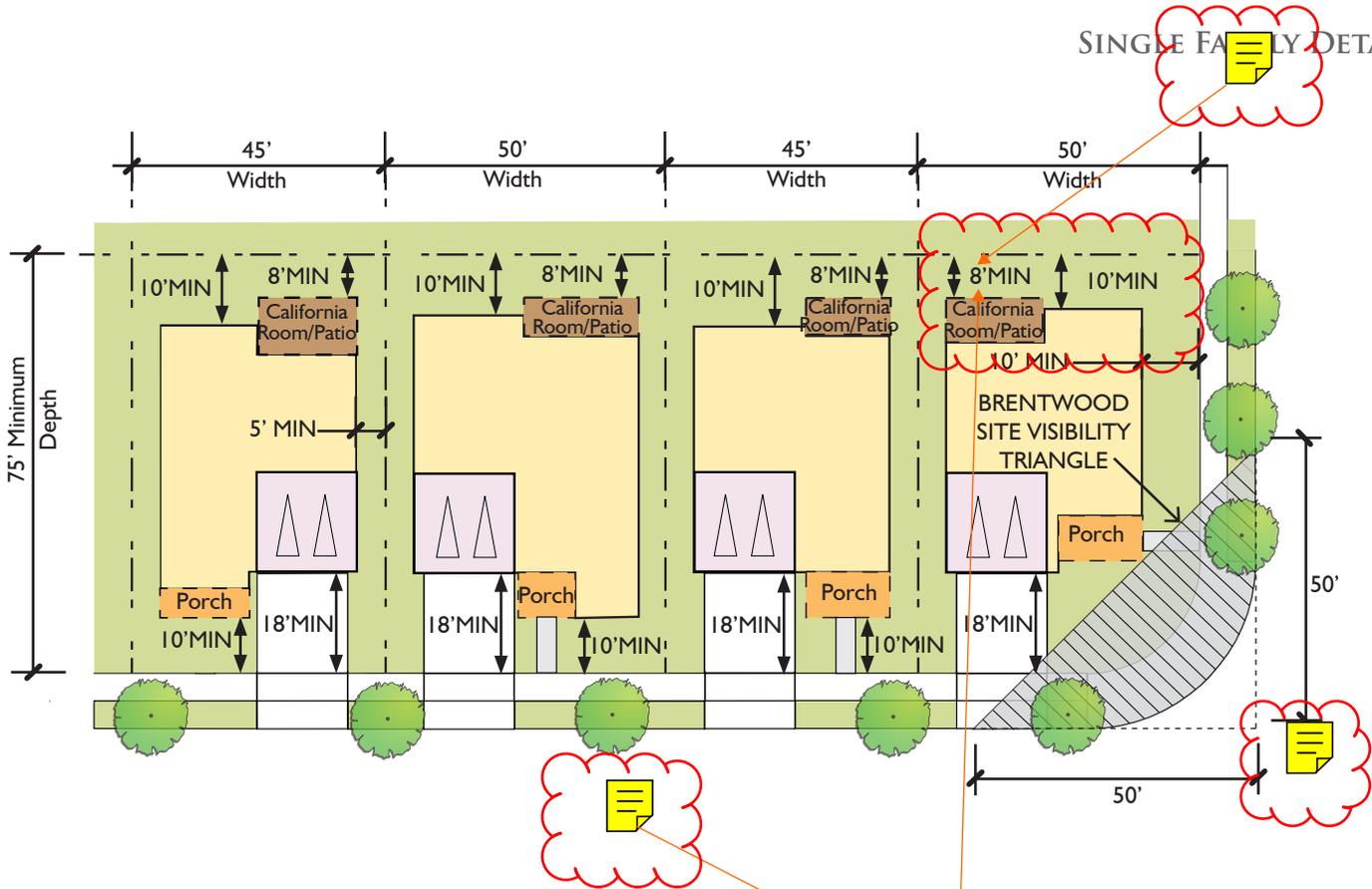
- Design front elevations to emphasize entries, porches or other living areas and de-emphasize garages.
- Front-facing garages should be set back from the front façade of the living space or porch element by a minimum of 2 feet, as applicable to all the single family products.
- Automatic garage door openers are required for all garages.
- Soften the appearance of the garage doors with optional windows or other high quality detail.
- Per City Standards, one distinct plan with four distinctive elevations shall be provided for every 25 units (or portions thereof). Fourteen (14) models shall be required for the build out of 331 lots.
- Architectural styles shall be clearly articulated and consistent in their proportions and details with the models on which they are based.
- Any developer built accessory buildings shall be designed to match the primary dwelling unit in terms of architectural style, color and materials.
- Plans and elevations should be mixed within the development to avoid repetition of identical facades and rooflines.
- Avoid exposed long, unarticulated second floor walls, which increase the apparent mass of the upper floor.
- Roof pitches should generally be consistent for any individual house.
- Match roof pitches to the architectural style.
- Select architectural styles to provide a variety of roof designs along street frontage.
- Provide variation in roof heights.
- Articulate front elevations with porches, stepping roof ridges, breaks in eaves, garage offsets or similar methods.
- Entry porches are encouraged. A minimum clear depth of 6 feet should be provided to allow the placement of chairs on the porch. Avoid porches that appear tacked on and not usable.
- Special emphasis should be placed on entries. Special attention should be given to porch and entry details. Shaped columns, paired columns, and interesting railing balusters are encouraged where appropriate to the architectural style.
- Decorative entry lights are encouraged.
- For architectural styles without porches, provide a clearly articulated entry.
- Avoid tall blank walls.

- Provide variation in ridgelines to avoid repeating elements such as continuous gable ends, identical building silhouettes, eave heights and ride heights.
- Homes on corner lots are encouraged to include front porches that wrap around to side elevations.
- Avoid sharp changes in wall materials from front to side walls when side walls are visible from the street or open space.
- Window and door types and proportions should be consistent with the architectural style.
- Window enhancements and door trim detailing should be provided on facades that are facing a public street.
- Break down the bulk and scale of street facades. Typical techniques include the following:
  - Horizontal and vertical wall plane changes.
  - Projecting porches.
  - Varied roof forms orientations.
  - Bay windows.
  - Roof dormers
  - Materials and color changes.
  - Applied decorative features.
- Apply decorative features and enhancements to add shadow and visual interest to facades visible to the public street. Examples include:
  - Roof segments over windows
  - Pot rails
  - Metal or wood balcony railing
  - Planter boxes and plant rings
  - Tile or foam stucco applications
- Architectural features (e.g., chimneys, eaves, canopies, cornices, awnings) may encroach into required setbacks. However, architectural features shall maintain a minimum distance of 3 feet to the property line.

#### Materials and Colors

- High-quality entry columns and porch railing details are recommended.
- Wall materials should be appropriate to the architectural style.
- Make material and color changes at inside corners rather than outside corners to avoid pasted on look.
- Provide a mix of materials on each house except for architectural styles that would typically be faced with a single material.

- Materials (e.g., stone) should appear substantial and not “tacked” on to the façade.
- Roof materials and textures should be appropriate to the architectural style.
- Avoid roof color monotony by selecting a variegation in roof tile tones or a variety of roofing materials.
- Vary roof materials texture and shapes on houses within a development (e.g., flat concrete tiles with curved tiles).
- A minimum of 2 different color schemes should be provided for each architectural style of each plan type.
- Select color schemes appropriate to the architectural style.
- Relate color changes to plane changes and material changes.
- Stone and brick veneer, wall and column bases are encouraged when appropriate to the architectural style of the home.
- Materials and detailing will be consistently used on all sides of the residential structures.



### SINGLE FAMILY DETACHED HOMES

Single family detached homes are designed like typical larger lot homes on rectangular lots with standard front and rear yard setbacks.

- To avoid monolithic rear yards, rear facade variations are encouraged by either adding facade articulations or varying rear footprint setbacks by 2' or greater to one or more house plans.
- Front-facing garages should be set back from the front façade of the living space or porch element by a minimum of 2 feet, as applicable to all the single family products
- On narrower lots with front facing garages garage doors should be distinctively detailed and contain windows.
- Accessory structures are allowed per BMC section 17.660.

ZONING REQUIREMENTS	
<b>LOT SIZE</b>	3375 - 4,000 s.f. min.
<b>SETBACKS</b>	
Front Yard	*
Living	10'
Porch	10'
Garage	18'
Rear Yard	
Minimum	10'
<b>Side Yard (Interior Lot)</b>	
Minimum	5'
<b>Side Yard (Corner Lot)</b>	
Min. Interior	5'
Min. Streetside	10'
<b>BLDG HEIGHT</b>	
Stories	2
Max. Height	30'

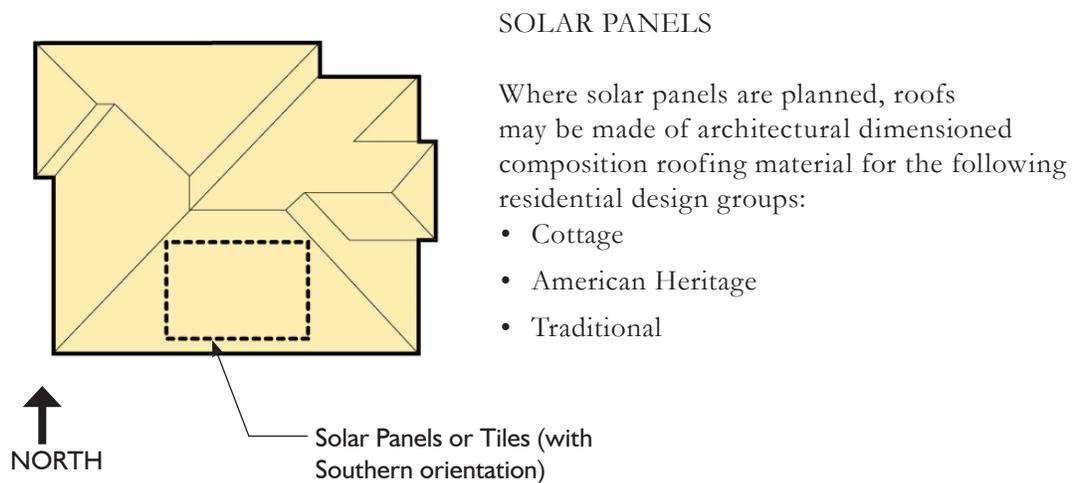
\* 18' to Front of Door.



Note: Lot exhibits are generic in nature and do not specify building footprints, entry, or landscape locations.

### 3.4 SUSTAINABLE DESIGN

Green design offers a sustainable and responsible approach to development that provides benefits to homeowners, the community, and our planet. Sciortino Ranch will be designed and developed to meet Build-it Green's "GreenPoint Rated" program requirements. Build-it-Green is an independent, non-profit organization dedicated to evaluating and advocating sustainable building practices. Build-it-Green's program has been endorsed by the Homebuilders Association of Northern California as well as cities across the San Francisco Bay Area. The program includes five categories for achieving green building including: Community, Energy, Indoor Air Quality, Resources, and Water. The following is an example of a design option that may be utilized to promote energy conservation. This is only a suggestion, as the Build-it-Green's "GreenPoint Rated" system offers a variety of methods that would achieve the green building goals of Sciortino Ranch.



#### SOLAR PANELS

Where solar panels are planned, roofs may be made of architectural dimensioned composition roofing material for the following residential design groups:

- Cottage
- American Heritage
- Traditional

## 4. STREETSCAPES AND PARKING

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4.1 CIRCULATION OVERVIEW

4.2 BRENTWOOD BOULEVARD

4.3 SAND CREEK ROAD

4.4 RESIDENTIAL STREETS

4.5 RESIDENTIAL & COMMERCIAL ENTRIES

4.6 PARKING

# VEHICULAR CIRCULATION DIAGRAM



## LEGEND

-  Primary Entry
-  Secondary Entry
-  Signalized Intersection
-  Internal Streets
-  Internal Parking Circulation

Note: Future circulation and intersection locations shown are preliminary.  
 See "Appendix B" for Traffic Analysis by Kimley-Horn, dated 2/23/09

## 4.1 CIRCULATION OVERVIEW

An integrated mixed-use development depends on a coordinated circulation system.

### PRIMARY ENTRIES

- Primary entries shall be 4-way controlled intersections. These intersections shall be coordinated with proposed median breaks and turn lane pockets and existing access points across Brentwood Boulevard.
- Primary entries shall access multiple interior uses and thus should be aligned with a primary internal circulation corridor.
- One primary entry is proposed for Brentwood Boulevard and two for Sand Creek Road. Future applications would be reviewed for compliance with traffic engineering safety and design standards.
- Primary entries shall be in conformance with Appendix B, which includes a traffic analysis by Kimley-Horn dated 2/23/09 (or any subsequent update).
- Design alternatives for primary entries are included in the following chapter.
- Primary entry locations should be coordinated with on-site user needs whenever possible.

### SECONDARY ENTRIES

- Secondary entries are right in/right out access points to the site.
- The location of secondary entries needs to be carefully coordinated to provide clear visibility and identity.
- Secondary entries shall also be aligned along in a logical manner with external and internal circulation corridors.
- Per city design standards the minimum distance between driveways and intersections shall be 65' (Engineering Procedures Manual Section VIII 4(c)(1)).
- Secondary entry locations shall be coordinated with on-site user needs whenever possible.

### INTERNAL CIRCULATION

- The primary circulation corridors on the interior of the site shall be aligned with either primary or secondary entries.
- Parking arrangements which require backing into the primary circulation corridors should be avoided.
- Pedestrian circulation should be coordinated with the internal auto circulation.

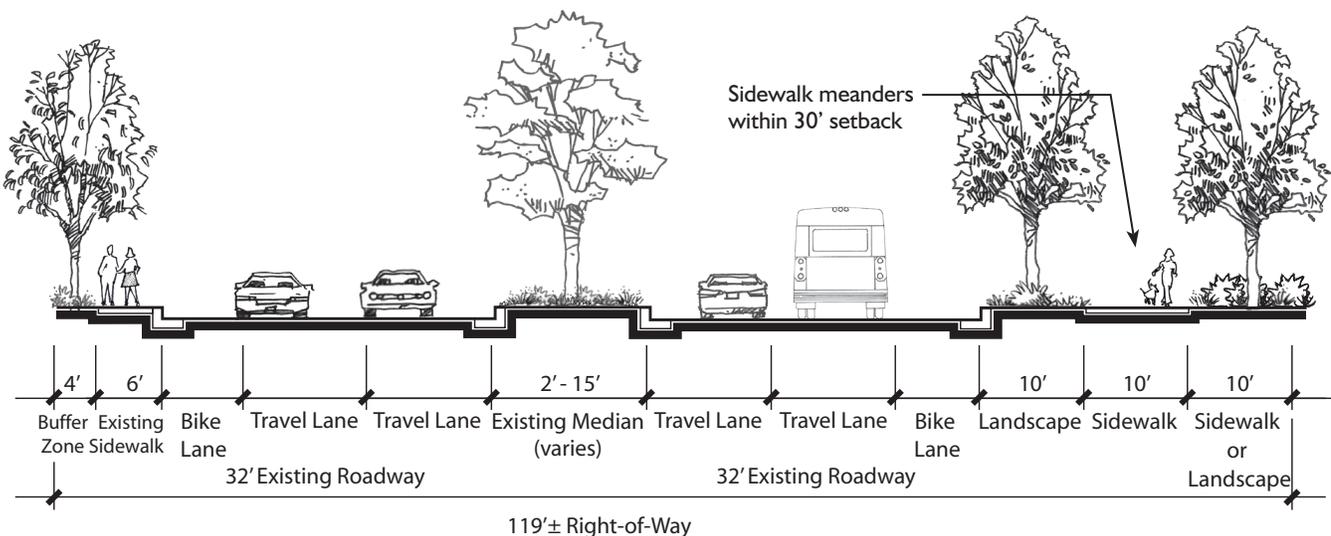
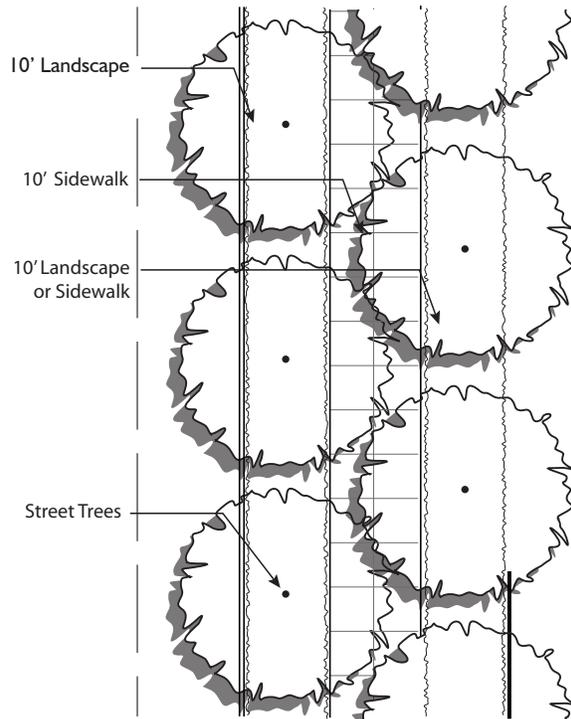
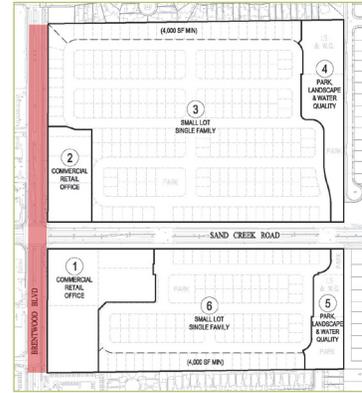
# BRENTWOOD BOULEVARD - TYPICAL

## 4.2 BRENTWOOD BOULEVARD

### BRENTWOOD BOULEVARD - TYPICAL

Brentwood Boulevard is one of the major north-south connectors for the City of Brentwood. The existing condition features an adequate roadway but the pedestrian areas adjacent to the PD-55 Zone are less than optimal. Future typical improvements to the boulevard include:

- West side of Boulevard with a 5' landscaped buffer zone adjacent to a 6' sidewalk
- Existing 2'-15' wide (width varies) landscaped median separates the travel lanes. Any future median modifications shall be a minimum width of 4' at turn lanes.
- 10' landscaped buffer between existing roadway and 10' sidewalk on east side of the street
- 10' landscape zone adjacent to the sidewalk on the east side of street. This area can also accommodate a meandering widened sidewalk if necessary



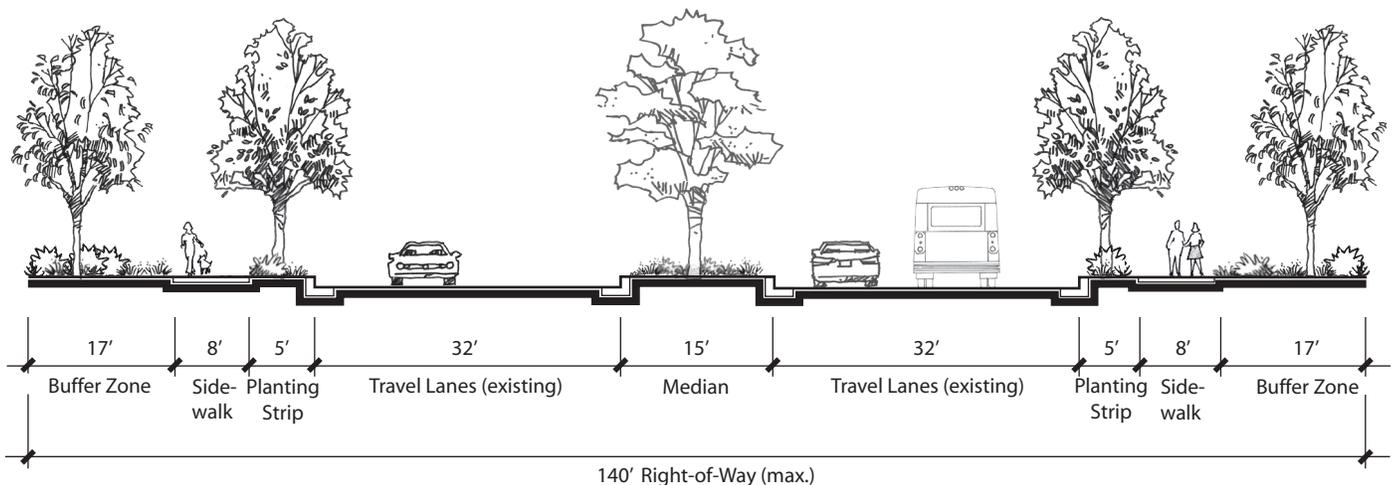
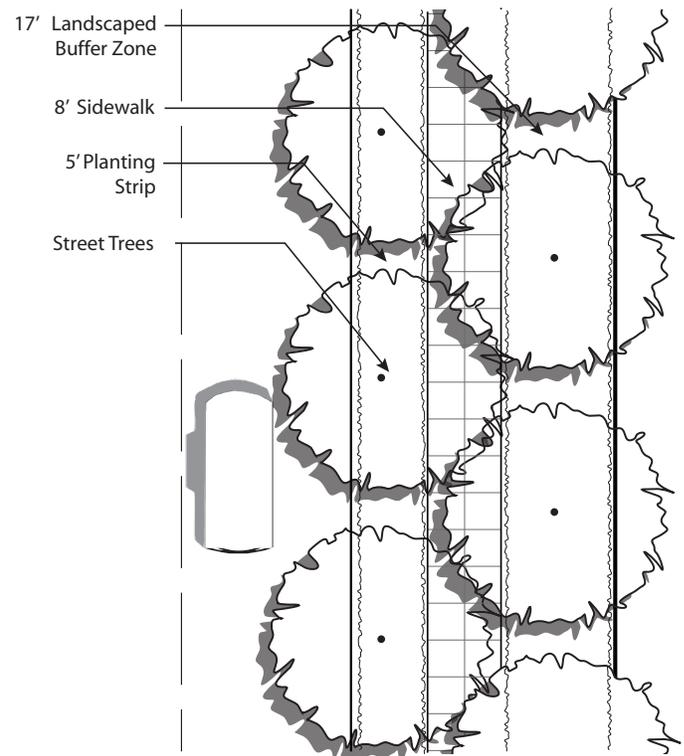
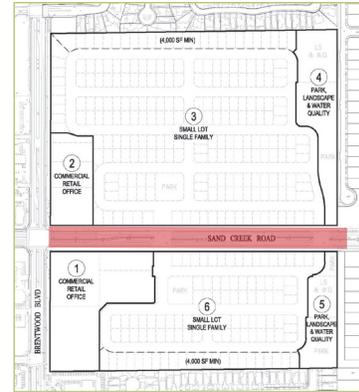
## SAND CREEK ROAD - TYPICAL

### 4.3 SAND CREEK ROAD

#### SAND CREEK ROAD - TYPICAL

Sand Creek Road is the major east to west corridor through the Sciortino Ranch site. The typical condition features the following elements:

- 8' sidewalks on each side of the roadway between a variable width buffer zone at the limit of the right-of-way and a 5' planting strip at the roadway.
- 12' minimum width travel lanes in each direction.
- A 15' landscaped median strip separates the travel lanes. Median shall be a minimum width of 4' at turn lanes.

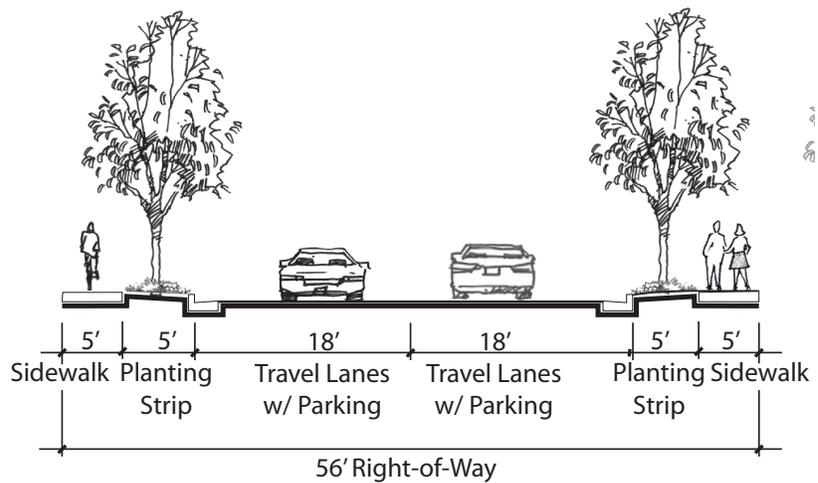
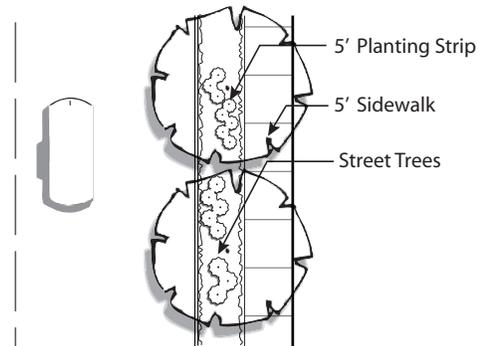
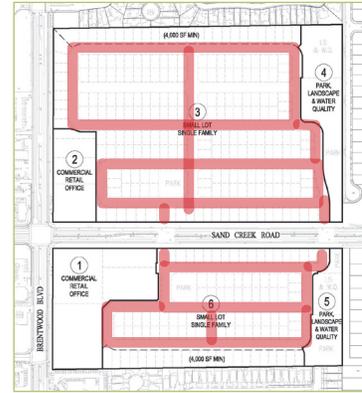


**4.4 RESIDENTIAL STREETS**

**PUBLIC RESIDENTIAL STREET - SEPARATED SIDEWALK**

Separated sidewalks are required at roadways entering subdivisions. The typical condition on public Residential streets are as follows:

- 5' sidewalk on each side of the street buffered from the roadway by a 5' planting strip.
- One 10' travel lane and one 8' parking lane in each direction.
- Parking is acceptable on both sides of street.
- If used at subdivision entries (that do not include driveways serving homes) the travel lanes may be reduced to 12' with no on-street parking.

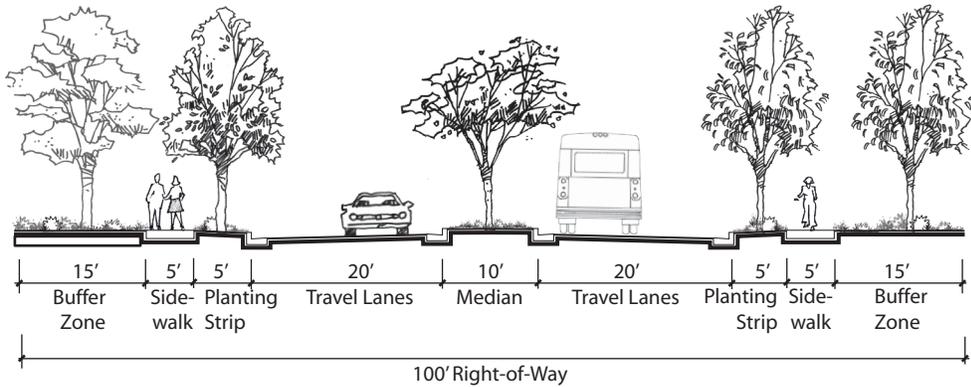
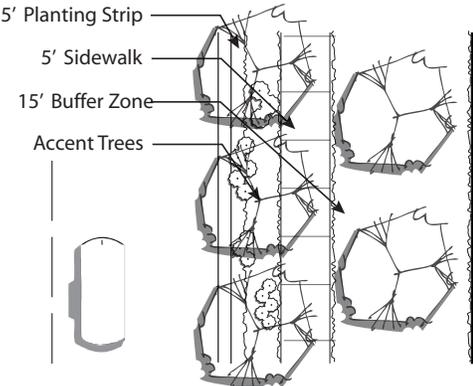
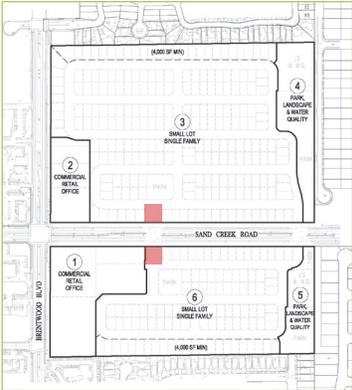


4.5 SAND CREEK ROAD ENTRIES

MAJOR ENTRY STREET - WITH MEDIAN

These entry streets celebrate the arrival to a large neighborhood and therefore have a more open and park like feel. Features include:

- 5’ sidewalks on each side of the roadway between a 15’ buffer zone at the limit of the right-of-way and a 5’ planting strip adjacent to the roadway.
- 20’ travel lane in each direction.
- 10’ landscaped median separating the travel lanes.
- No on-street parking is allowed at these entries.

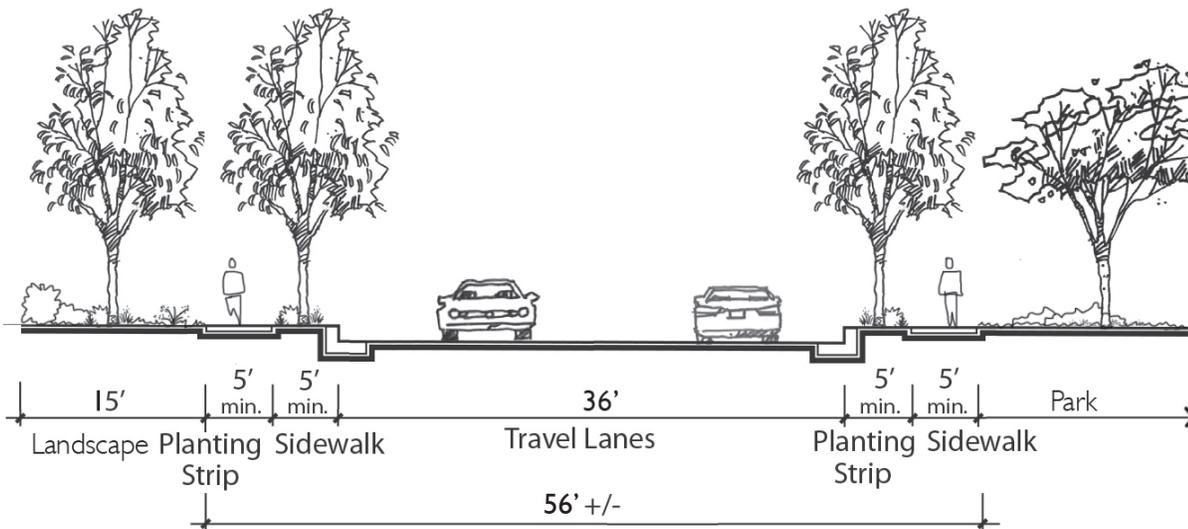
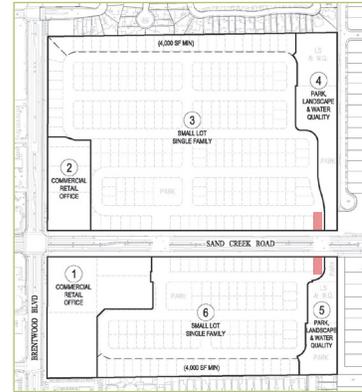


## NEIGHBORHOOD ENTRY STREETS

### NEIGHBORHOOD ENTRY STREET WITHOUT MEDIAN

Secondary commercial entries have the same edge conditions as the section above with changes to the travel lanes as listed below.

- 36' with one travel lane in each direction.
- 5' planter strip to buffer sidewalks on one edge.
- 5' sidewalk behind the planter strip on one edge.
- 10' sidewalk or planter strip on opposite street edge.
- Planting strip and sidewalk may be used on either side of entry.



## 4.6 PARKING OVERVIEW

The following are design objectives in which the city will compare future development applications for starting to adhere to quality design. The spirit of design implementation to a given site plan is the primary goal of these objectives not the strict execution of each and every design objective.

Parking areas should be generously landscaped to provide shade and minimize the visual impact of vehicles, pavement and other parking type facilities.

Reduce dominant parking fields between buildings and arterial streets.

- Where feasible place parking fields behind and adjacent to buildings whenever possible.

Provide delineated pedestrian walks between parking areas and buildings.

- Intersperse parking area walkways with bioswales where feasible.

Consolidate vehicular entries.

- Align vehicular entries with those on the opposite side of the street, whenever possible.

Connect commercial parcel parking lots.

- Design parking lots to allow easy vehicular and pedestrian internal circulation.
- Reduce traffic congestion in areas of related commercial uses.
- Utilize shared parking between adjacent uses, whenever possible.

Provide clarity to internal circulation.

- Design clear vehicular circulation paths from major auto entries to building entries.
- Reinforce major building entries with distinctive landscaping.
- Where feasible incorporate enhanced paving at major pedestrian connections or near major building entries.

The parking guidelines (Tables 4.7A and 4.7B) herein are part of the PD-55 Zoning requirements and are designed to compliment section 17.620 of the Brentwood Municipal code. If certain parking regulations are not expressly addressed in these guidelines the municipal code shall be enforced.

Restaurant uses located in shopping centers may have shared parking based upon the following factors:

- Mix of land uses within a shopping center and their projected demand for parking
- Hours of operation of the various land uses
- Floor area of the shopping center

PARKING MATRIX

USE	MINIMUM REQUIRED SPACES <sup>1</sup>
GENERAL COMMERCIAL RETAIL	1 SPACE / 200 SQUARE FEET
OFFICE	1 SPACE / 250 SQUARE FEET
RESTAURANT (SIT-DOWN)	1 SPACE / 100 SQUARE FEET, PLUS 1 SPACE/50 SQUARE FEET OF GROSS FLOOR AREA USED FOR DANCING OR OTHER USES
RESTAURANT (FAST-FOOD)	1 SPACE / 200 SQUARE FEET
SINGLE FAMILY RESIDENTIAL	2 COVERED & ENCLOSED / UNIT; 1 UNCOVERED / SECONDARY HOUSING UNIT
MANUFACTURING / LIGHT INDUSTRIAL	5 SPACES +1 SPACE / 800 SQUARE FEET
WAREHOUSE	5 SPACES (MINIMUM) +1 SPACE / 1000 SQUARE FEET
BUILDING MATERIALS	1 SPACE / 300 SQUARE FEET GROSS FLOOR AREA, PLUS 1 SPACE FOR EACH 1,000 SQUARE FEET RETAIL OPEN SPACE AREAS, PLUS 1 SPACE FOR EACH 3,000 SQUARE FEET OF WHOLESALE OPEN AREAS RESTRICTED TO EMPLOYEES ONLY
HOTELS	1 SPACE / SLEEPING UNIT + ADDITIONAL SPACES BASED ON ANCILLARY USES
EDUCATIONAL	1 SPACE FOR EACH 2 STUDENTS PLUS 1 SPACE FOR EACH 1.5 EMPLOYEES AT DESIGNATED CAPACITY

<sup>1</sup> Table 4.7A is to be consistent with BMC Chapter 17.620 except where otherwise revised by these Design Guidelines

**TABLE 4.7a - PARKING REQUIREMENTS**

<b>STANDARD PARKING SPACES</b>				
<b>Angle of Stalls</b>	<b>Stall Width</b>	<b>Curb Length</b>	<b>Stall Depth (a)</b>	<b>Aisle Width</b>
0	9 ft. 0 in.	23 ft. 0 in.	9 ft. 0 in.	12 ft. 0 in.
30	9 ft. 0 in.	18 ft. 0 in.	17 ft. 4 in.	11 ft. 0 in.
40	9 ft. 0 in.	14 ft. 0 in.	19 ft. 3 in.	12 ft. 0 in.
45	9 ft. 0 in.	12 ft. 9 in.	20 ft. 0 in.	13 ft. 0 in.
50	9 ft. 0 in.	11 ft. 9 in.	20 ft. 6 in.	12 ft. 0 in.
60	9 ft. 0 in.	10 ft. 6 in.	21 ft. 0 in.	18 ft. 0 in.
70	9 ft. 0 in.	9 ft. 9 in.	21 ft. 0 in.	19 ft. 0 in.
90	9 ft. 0 in.	9 ft. 0 in.	19 ft. 0 in.	25 ft. 0 in.
<b>COMPACT PARKING SPACES (b)</b>				
<b>Angle of Stalls</b>	<b>Stall Width</b>	<b>Curb Length</b>	<b>Stall Depth (a)</b>	<b>Aisle Width</b>
0	8 ft. 0 in.	20 ft. 0 in.	8 ft. 0 in.	11 ft. 0 in.
30	8 ft. 0 in.	16 ft. 0 in.	15 ft. 0 in.	11 ft. 0 in.
40	8 ft. 0 in.	12 ft. 6 in.	16 ft. 6 in.	11 ft. 0 in.
45	8 ft. 0 in.	11 ft. 4 in.	17 ft. 0 in.	11 ft. 0 in.
50	8 ft. 0 in.	10 ft. 6 in.	17 ft. 6 in.	13 ft. 0 in.
60	8 ft. 0 in.	9 ft. 3 in.	18 ft. 0 in.	16 ft. 0 in.
70	8 ft. 0 in.	8 ft. 6 in.	17 ft. 9 in.	16 ft. 0 in.
90	8 ft. 0 in.	8 ft. 0 in.	16 ft. 0 in.	21 ft. 0 in.

Table Footnotes:

- (a) A credit towards the minimum stall depth may be given for overhangs into landscape areas. The credit shall be based on a maximum allowable overhang of 2 feet for 90 degree stalls and shall be reduced proportionally as the stall angle decreases (e.g. 16 inches for 60 degree stalls, 1 foot for 45 degree stalls, 8 inches for 30 degree stalls). No credit shall be given for 0 degree stalls.
- (b) Up to 30% of the parking stalls may be compact.

**TABLE 4.7B - PARKING AND AISLE DESIGN CRITERIA**

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## 5. PARKS

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### 5.1 PARK DESIGN ELEMENTS

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## 5.1 PARK DESIGN ELEMENTS

The 2014 City of Brentwood General Plan Conservation and Open Space Element provides the framework to protect, maintain, and enhance Brentwood's natural resources. The Sciortino Ranch Park network will link with the open space system in the adjacent existing residential areas.

The Sciortino Ranch residential neighborhoods are enhanced by two types of parks:

- Village Greens. The Village Green is the neighborhood entry/focal park (0.6 acres) which sets the tone for the residential neighborhoods north and south of Sand Creek Road. It acts as the focal point at the main entry to the neighborhood, and serve as a welcoming social space.
- Larger neighborhood parks are located at the eastern edge of the project and act as transitions to the existing residential neighborhoods to the east, as well as meeting the active recreation needs of the community. The relationship between the park and the adjacent development is planned to celebrate the park interface. These open spaces are visually expanded by adjacent water quality basins.

All the parks within Sciortino Ranch should:

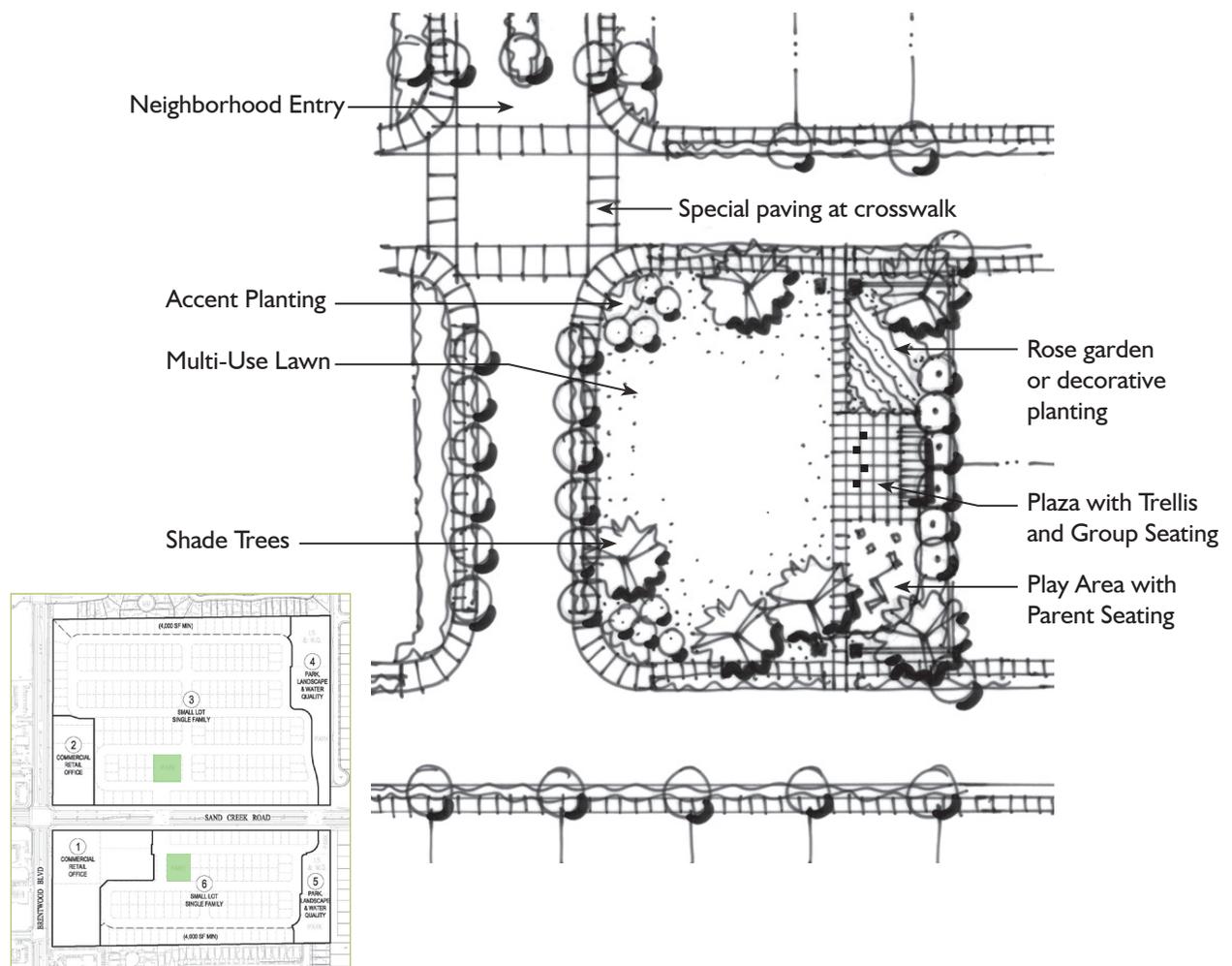
- Include desirable amenities for community enjoyment.
- Be visible from public corridors to encourage use.
- Be universally accessible by pedestrian and bicycle links.
- Provide maintenance access from the adjacent street.
- Provide lighting for security and as appropriate for evening use.
- Provide “mutt-mitts” (for canine waste) and appropriate disposal receptacles.
- Include a thematic system of site furnishings including bicycle racks, benches, trash receptacles, recycling containers, barbeques, and drinking fountains.
- Provide on-street parking.
- Integrate a storm water management system with overall design.

## VILLAGE GREENS

Two small parks - Village Greens - create the sense of arrival into the neighborhoods. They are predominately lawn or garden space. They will front on the street on three sides, providing a sense of expanse, and clear visibility. They will interface with residential uses on one side. A Village Green is both land and fee creditable as park acreage under the City's Standard of 5 acres per 1,000 population (fulfilling either "Neighborhood" or "Community" requirements). The Village Greens should provide:

- a. Areas for passive or low impact recreational activities such as checkerboard tables and bocce ball as well as active recreational amenities.
- b. Areas for environmental education such as rose garden, community gardens and botanical gardens.
- c. A predominant lawn or garden space.
- d. An outdoor environment where temporary food kiosks, farmer's markets, or events can occur.

## VILLAGE GREEN PROTOTYPE



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

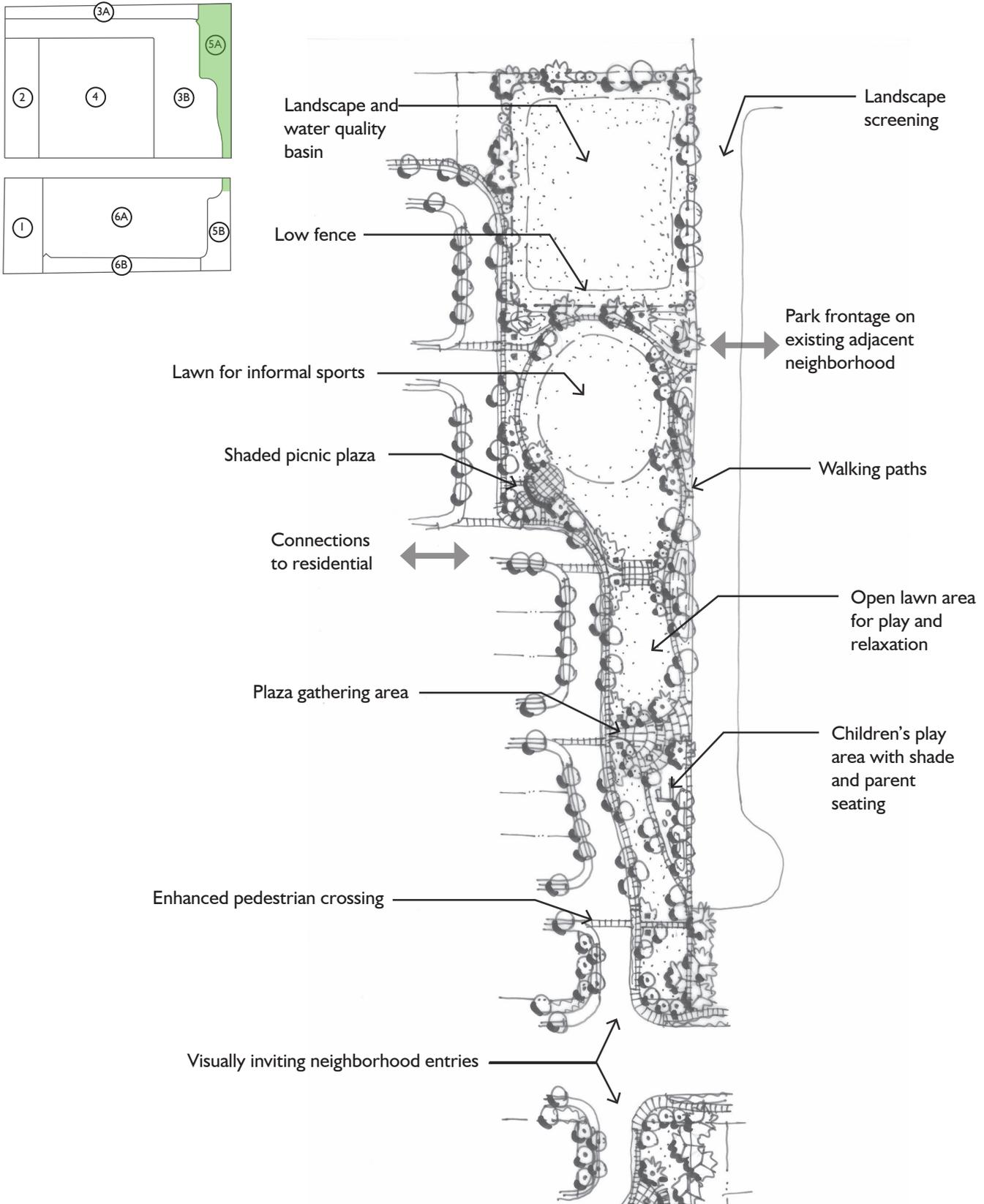
## NEIGHBORHOOD PARKS & WATER QUALITY LANDSCAPE AREAS

The Neighborhood Parks developed along the eastern edge of the community are shown on the following pages. They provide a transition between the existing and proposed development. Neighborhood Parks are both land and fee creditable as park acreage under the City's Standard of 5 acres per 1,000 population. Typical features in the Neighborhood Park might include:

- a. Basketball, volleyball courts or other uses.
- b. A "teen area" that has suitable activities for youth 12 to 18 years of age.
- c. Separate play areas and equipment for children 2 to 5 years of age and children 6 to 12 years of age with shaded areas for users.
- d. Individual and small group picnic areas with barbecues.
- e. Maintenance costs will be assumed by the Landscape and Lighting District.

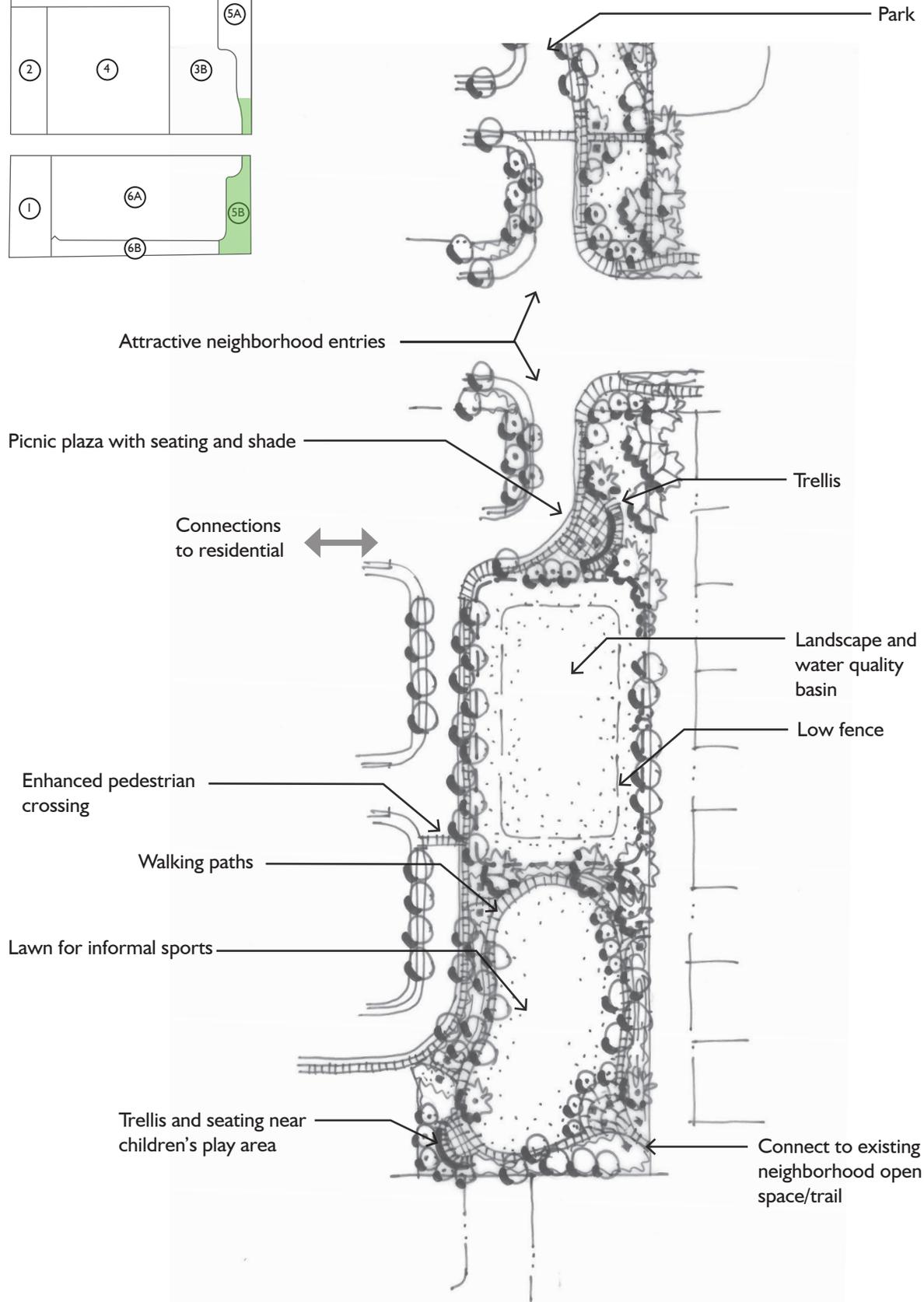
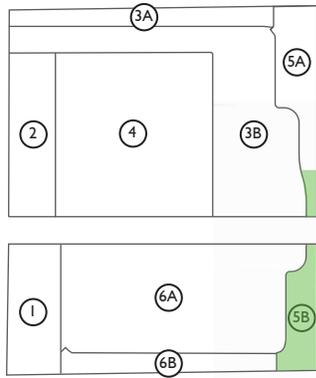


# NEIGHBORHOOD PARK PROTOTYPE



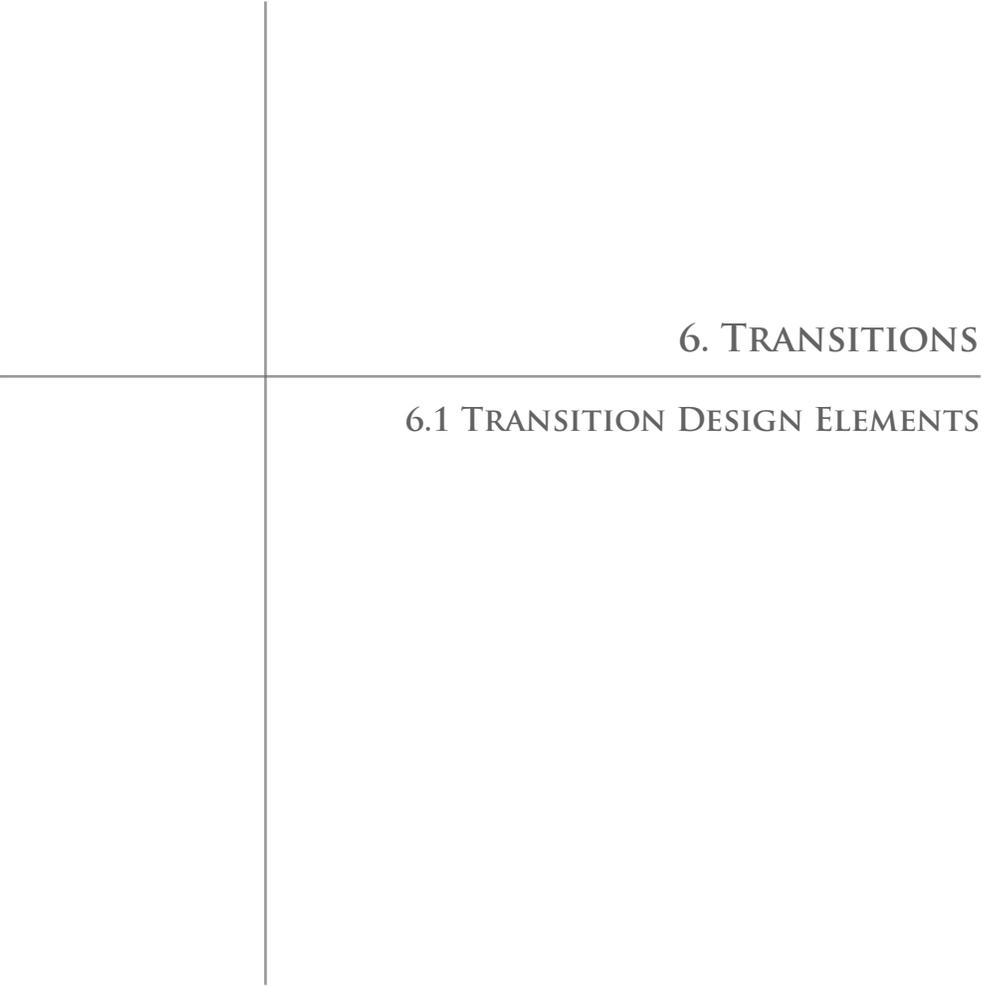
Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

# NEIGHBORHOOD PARK PROTOTYPE



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

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## 6. TRANSITIONS

### 6.1 TRANSITION DESIGN ELEMENTS

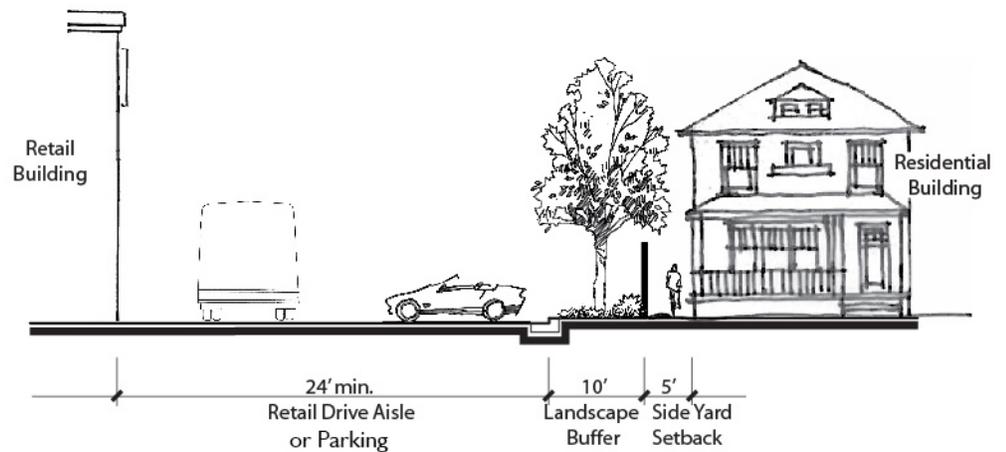
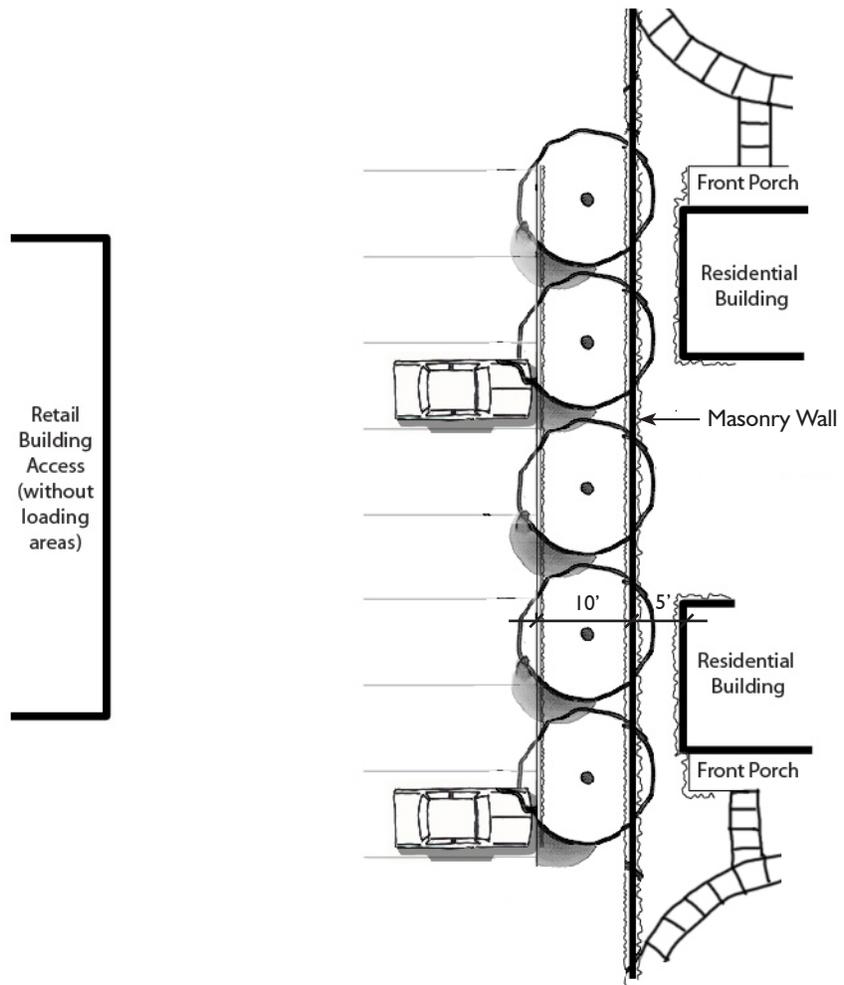
## **6.1 TRANSITION DESIGN ELEMENTS**

The transitions between the various land uses play an important role in expressing the quality of the community. The transitions must be designed in a way that protects adjacent uses from potential conflicts while still allowing for a logical and seamless interplay. The transitions should promote pedestrian movement between uses. Where buffers between uses are required, the design intent is to integrate the buffer zone into the overall community.

## SINGLE-FAMILY RESIDENTIAL SIDE YARD AT RETAIL REAR

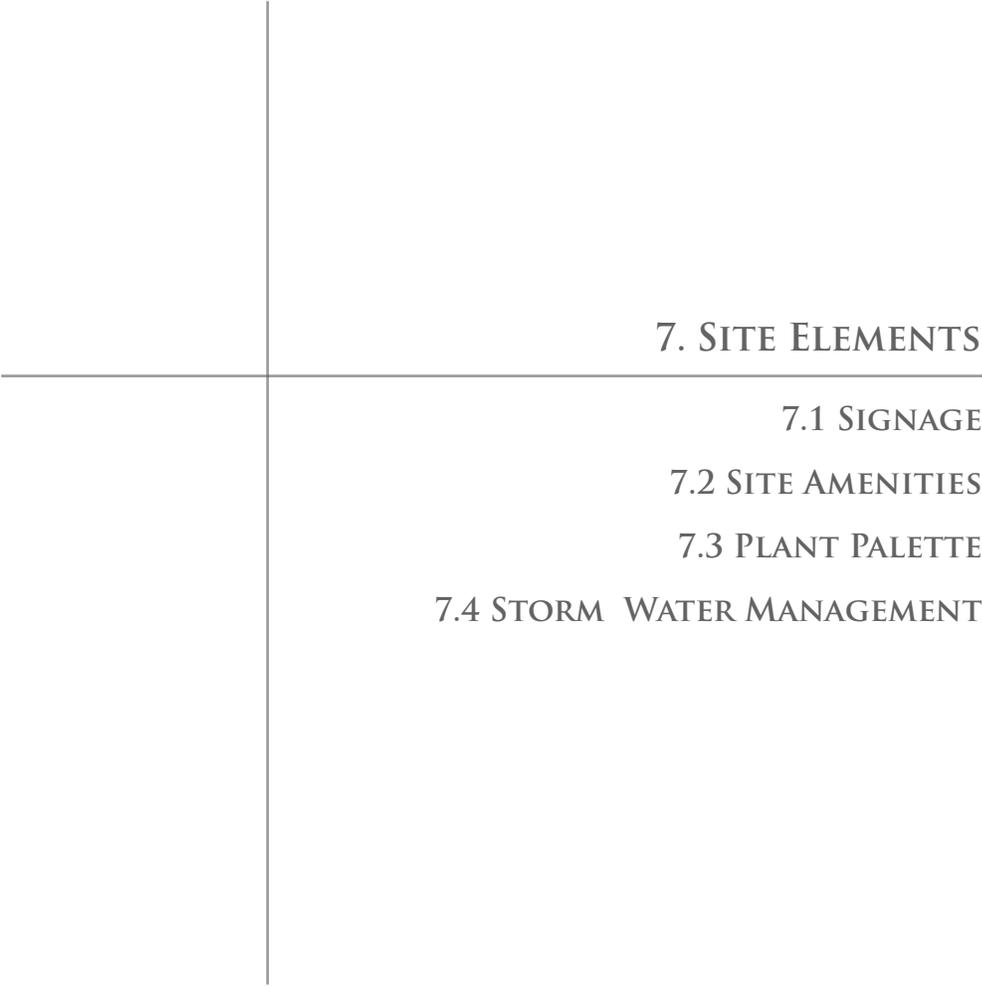
Single family dwellings may also have side setbacks which are adjacent to retail rear access areas. These transitions will feature the following:

- The residential building will be set back a minimum of 5' from the side property line.
- A masonry wall will separate the side residential setback from the adjacent retail zone.
- A minimum of 10' of buffer planting, including shrubs, groundcover, and trees shall be planted on the commercial side of the wall to soften the transition and screen the residence from vehicle traffic related to retail uses.
- Retail rear uses will be reached by a drive aisle to accommodate large vehicles accessing loading docks and other such areas.



Note: Thumbnail sketches are schematic in nature and provide quality design suggestions only.

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## 7. SITE ELEMENTS

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7.1 SIGNAGE

7.2 SITE AMENITIES

7.3 PLANT PALETTE

7.4 STORM WATER MANAGEMENT

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## 7.1 SIGNAGE

Signage within Sciortino Ranch should comply with the design regulations established in the City of Brentwood Design Guidelines. In addition to these regulations, Signage in Sciortino Ranch should be consistent in order to reinforce the village character of the site. The following are guidelines for the development of a signage palette for Sciortino Ranch.

### GENERAL SIGNAGE GUIDELINES

- Signage should complement the building architecture in both size and materials.
- Signage should be understated and of a scale suitable for a pedestrian village.
- Signage message should be brief and limited to business name, logo, and/or primary product or service offered. Easy to read typeface with limited lettering styles should be used.
- Large signs intended for viewing from passing vehicles should be avoided.
- Sign location, design, and pattern should relate to building architecture and relate to other storefronts in the same building and adjacent buildings.
- Signs should not cover or interfere with architectural details. Nor should they project above roof lines or obstruct windows and/or doorways.
- All signage should be on buildings with the exception of a major retail tenant which may have a freestanding monument sign at the street in compliance with the Brentwood Boulevard Specific Plan regulations.
- Office building signage should emphasize the address rather than individual tenants
- Residential signage should be understated and add to the visual identity of Sciortino Ranch. Signage should be limited as necessary to identify the residential community.
- A themed street identification sign should be located at the corner of Brentwood Boulevard and Sand Creek Road per the Brentwood Boulevard Specific Plan.

### SIGNAGE COLORS & MATERIALS

- Signage colors which are complementary, yet provide good contrast with one another, should be used for attractive and readable visual communication. Colors should also be compatible and complementary to building colors.



Street trees should enhance entries.



Lighting of pedestrian paths will encourage use.



A family of site furnishings will provide variety and visually connect the campus.



Art and other special elements are encouraged.

Note: Examples are illustrative in nature and provide quality design suggestions only.

- Signage material should relate to building architecture, be durable, and maintained to prevent deterioration. If non-permanent materials such as vinyl and cloth are used they should be maintained to be in good condition at all times.

#### SIGNAGE LIGHTING

- Sign lighting should originate from a direct source of light rather than internally illuminated. Where an indirect light source is used glare should be prevented from effecting adjacent residential and public right-of-way areas.
- Exposed electrical raceways are prohibited and all conduit and junction boxes to be concealed.

#### MONUMENT SIGNAGE

- Monumentation signage should be limited to only key entries and should be designed to complement building architecture, colors, and materials. Design of monument signage is regulated through the City's conditional use permit and design review process.
- Sciortino tenants may use a freestanding monument sign at the main entry to a retail, office or industrial building group and are prohibited within public rights-of-way.
- Monument signs should be located in well landscaped areas near main auto entries and should be placed so that sight lines at entry drives are not obstructed.
- Sign content should be limited to project name, individual tenant names, generic uses, and the street address. Logos and other graphic elements may be considered at the discretion of the Director of Community Development
- External illumination of monument signs is encouraged with either light cast directly onto the sign from above or with individual backlit letters.

#### WALL & FASCIA SIGNAGE

- Sign content should be limited to business name. Logos and other graphic elements may be considered at the discretion of the Director of Community Development
- Wall signs not to exceed 15% of the building facade.
- Individual letters or neon designs should be mounted on wall surfaces rather than painted directly onto building walls.
- Wall signs should consist of channel letters, reverse channel letters, or exposed neon with all electrical connections concealed.

- Wall signs shall be located on building walls where sign size and shape fit with architectural features and details, for example a band or blank area between the first and second floors of a building.
- External direct illumination, individually cut channel letters, or solid backlit letters are encouraged.

#### AWNING SIGNS

- All awnings should have a vertical valance for the application of signage.
- Awning sign information should be limited to business name, logo, services, and address.
- Shape, design, material, and color of awnings should complement building architecture and be coordinated where multiple awnings are used on one building.

#### PROJECTING SIGNS

- Projecting signs are strongly encouraged in areas of high pedestrian activity, where buildings are located close to the street, and where more than one business is located along a building frontage.
- Materials should consist of wood, metal, or fabric with top and bottom bracket supports. Brackets to be well designed and compatible with building character.
- Projecting signs should be located on ground floor used only and should be mounted perpendicular to the face of the building.

#### WINDOW SIGNS

- Window signs should be permanent and consist of individual letters or logos mounted on the inside of a window applied by painting, silk screening, or vinyl die-cut forms. Non-permanent materials such as paper are prohibited.
- Window signs should not block views into building so as to maintain visibility for business identification and security purposes.

### 7.2 SITE AMENITIES

A consistent family of trash receptacles, benches, bike racks and other site furnishings will be used in the public areas of Sciortino Ranch. Street furnishings along Brentwood Boulevard and Sand Creek Road should be consistent with the guidelines established in the Brentwood Boulevard Specific Plan. A variety of seating

elements such as benches and concrete or masonry seating pads may be used within the site plan and should be arranged to encourage gathering and conversation.

Monumentation and signage should reflect the architectural character of the campus and be compatible with the overall design theme of Brentwood Boulevard. Public art, focal elements, and special features such as fountains are strongly encouraged and should be integrated into the proposed paseo and open space system.

A consistent family of light fixtures will be used along the streets, within the parking areas, along paseos, and in parks to create a unified campus. Lighting within the campus should encourage night use and provide safe pedestrian routes between uses. All lighting shall be provided by dark sky compliant fixtures to avoid over-lighting and night glare.

### 7.3 PLANT PALETTE

A consistent palette of street and parking lot trees should be established with the initial phase of development in order to ensure a uniform campus image. Trees species should be consistent with the City of Brentwood Urban Forest Guidelines that includes a mix of evergreen and deciduous trees. Street trees along Brentwood Boulevard and Sand Creek Road should allow for visual access to store and residential frontages without blocking signage and entries. Smaller accent trees should be used at vehicular entries to create a sense of arrival.

The shrub and groundcover palette may vary throughout the campus according to the use and site conditions. However, there should be some consistency in form and color to reinforce the village theme and visually tie the different uses together. The use of low water using plant materials is emphasized except where storm water treatment areas such as bio swales preclude their use.

### 7.4 STORM WATER MANAGEMENT

In the upfront planning of stormwater treatment it is the intent of Sciortino Ranch Development to comply with Contra Costa Clean Water Program Storm Water Guidelines through the use of self-treating areas, bio retention facilities, flow-through planters and other approved devices.

The storm water treatment approach should be integrated into the overall open space and parks system of the future



Stormwater treatment designed as a landscape feature at a Starbucks in Brentwood.



Other examples of integrating stormwater treatment as a landscape feature.

site plans as a site plan enhancement. For example, bio swales may edge pedestrian connectors through parking areas providing an enhanced pedestrian experience.

Pedestrian circulation should be coordinated with the location of bio retention areas to avoid conflicts. Plant material selection should also be coordinated with storm water treatment systems. For example, planting in bio retention areas and flow through planters must be tolerant of temporary inundation.